

## REPORT TO THE DEVELOPMENT REVIEW COMMITTEE

**Prepared by:**

Adileni Rueda, Assistant Planner

**Meeting of:** October 28, 2024

**Agenda Item:** 1

**SUBJECT:**

Consideration of a Tentative Parcel Map (TPM 2024-02) and Site Plan Review (SPR 2024-18) proposing to subdivide and partially develop  $\pm 5.47$  acres of property located on the west side of Madera Avenue between Gary Lane and West Pecan Avenue (APN: 012-320-008).

**RECOMMENDATION:**

Hold a public hearing and adopt:

1. A Resolution of the Development Review Committee (DRC) determining the project is Categorical Exempt pursuant to Section 15315/Class 15 (Minor Land Divisions) and Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines and approving Tentative Parcel Map 2024-02 and Site Plan Review 2024-18 subject to the findings and conditions of approval.

**SUMMARY:**

CWE (Representative) has prepared Tentative Parcel Map No. TPM 2024-02 on behalf of AutoZone Parts, Inc (Applicant) to subdivide  $\pm 5.47$  acres of C-2 (Heavy Commercial) zoned property located on the west side of Madera Avenue between West Gary Lane and West Pecan Avenue (APN: 012-320-008) into three (3) parcels.

The project site is an interior lot located on the west side of the Madera Avenue corridors. Directly north and south of the project site are existing commercial retail and restaurant uses; with residential development abutting west of the project.

Along with the tentative parcel map, the applicant submitted for Site Plan Review (SPR) 2024-18 to develop the automotive parts retailer, AutoZone on one of the proposed parcels.

The subject property is zoned C-2 (Heavy Commercial), which is consistent with the Commercial Land Use Category designated for the property by the General Plan pursuant to Table LU-A; General Plan/Zoning Consistency of the General Plan.

Table 1 below provides a brief overview of the entitlement request, project applicant, project location and site characteristics.

<b>Table 1: Project Overview</b>	
<i>Project Number:</i>	Tentative Parcel Map No. TPM 2024-02 and Site Plan Review No. SPR 2024-18
<i>Applicant:</i>	AutoZone Parts, Inc
<i>Property Owner:</i>	Pasquale Desantis Et al.
<i>Location:</i>	Located on the western side of Madera Avenue between West Gary Lane and West Pecan Avenue (APN: 012-320-008).
<i>Project Area:</i>	±5.47 acres
<i>Plan Land Use:</i>	Commercial
<i>Zoning District:</i>	C2 (Heavy Commercial)
<i>Site Characteristics</i>	The ±5.47-acre subject property is a vacant interior lot.

**ANALYSIS:**

Tentative Parcel Map (TPM)

The City Municipal Code (CMC) Section 10-2.501 requires the review and approval of tentative parcel maps to be performed by the Planning and Engineering Department.

TPM 2024-02 will subdivide the 5.47-acre lot into three parcels in which Parcel 1 is proposed at approximately 1.366, Parcel 2 at 1.205, and Parcel 3 at 2.898 acres. Below, Table 2 identifies the lots dimensions.

<b>Table 2: Parcel Summary</b>	
<b>Parcels</b>	<b>Dimensions</b>
<i>Parcel 1</i>	170' x 350'
<i>Parcel 2</i>	150' x 350.1'
<i>Parcel 3</i>	360.7' x 350.1'

### Site Plan Review (SPR)

Site Plan Review No. 2024-18 proposes the construction of a retail auto parts store at approximately 7,380 square feet on Parcel 2. The retail store proposes to operate seven days a week between the hours of 7:30 am to 9:00 pm.

The project has been reviewed and conditionally approved to meet City standards and requirements based on commercial development. The submitted site plan shall have the front of the commercial building facing Madera Avenue and will be subject to meet City landscaping standards and parking requirements at one parking stall for every 250 square feet of building area. The commercial development will adhere to the trademarked color palette that AutoZone, Inc markets itself with.

TPM 2024-02 and SPR 2024-18 have been conditioned to construct infrastructure along Madera Avenue to meet the California Department of Transportation (Caltrans) and the City's Engineering Department requirements. A few of these improvements include the extension of pavement taper going southbound, the installation of two new mediums, and new curb and sidewalk all along Parcel 1 and Parcel 2. Any future development on Parcel 3 will be required to share the new drive approach with Parcel 2. Because of this, the developer shall be required to record a Reciprocal Easement Agreement.

For the rest of the requirements, refer to Attachment 7 and the conditions of approval for the complete list of requirements.

### **GROUND FOR DENIAL OF A TENTATIVE OR PARCEL MAP:**

The Subdivision Map Act (California Government Code §§ 66400, *et seq.*) provides that approval of a proposed subdivision map shall be denied if any of the following findings are made:

- a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451 of the SMA.
- b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- c) That the site is not physically suitable for the type of development.
- d) That the site is not physically suitable for the proposed density of development.
- e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if

it finds that alternate easements, for access of or use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

**ENVIRONMENTAL REVIEW:**

Staff performed a preliminary environmental assessment and determined that the project is Categorically Exempt pursuant to Section 15315/Class 15 (Minor Land Divisions) and 15332/Class 32 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines. The project includes a proposed subdivision of property, which is located in an urbanized area and planned and zoned for Commercial land use into three parcels, in conformance with the City of Madera General Plan and the Zoning Regulations of the City Municipal Code. No variances or exceptions are required, and all services and access to the proposed parcels are available. The proposed development on the newly created Parcel 2 will not exceed five acres, is consistent with the Zoning District and General Plan land use designation and is surrounded by existing development. None of the exceptions under Section 15300.2 of the CEQA Guidelines are applicable to this project and there are no unusual circumstances.

**RECOMMENDED ACTION:**

Pursuant to the provisions of § 10-2.501.6 of the CMC, upon completion of the public hearing, the Development Review Committee shall approve, conditionally approve, or deny the tentative parcel map. If the map is approved, it shall be signed and dated by the Planning Director and City Engineer or their authorized representative. If the subdivision is denied, the subdivider or the engineer shall be so notified in writing with a statement for the reasons of denial (see subsection: Grounds for Denial of a Tentative or Parcel Map included herein above).

The Development Review Committee (Committee) will be taking action on both the determination of a Categorical Exemption pursuant to Section 15315/Class 15 (Minor Land Divisions) and Section 15332/Class 32 (In-Fill Development Projects) of the CEQA Guidelines as well as the Tentative Parcel Map (TPM 2024-02) and the Site Plan Review (SPR 2024-18). Staff recommends that all required findings for approval under the Municipal Code and law can be made, as described in the proposed Resolution attached to the report (Attachment 5).

Staff Recommends the Committee:

1. A Resolution of the Development Review Committee (DRC) determining the project is Categorically Exempt pursuant to Section 15315/Class 15 (Minor Land Divisions) and Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines and approving Tentative Parcel Map 2024-02 and Site Plan Review 2024-18 subject to the findings and conditions of approval.

## **ALTERNATIVES**

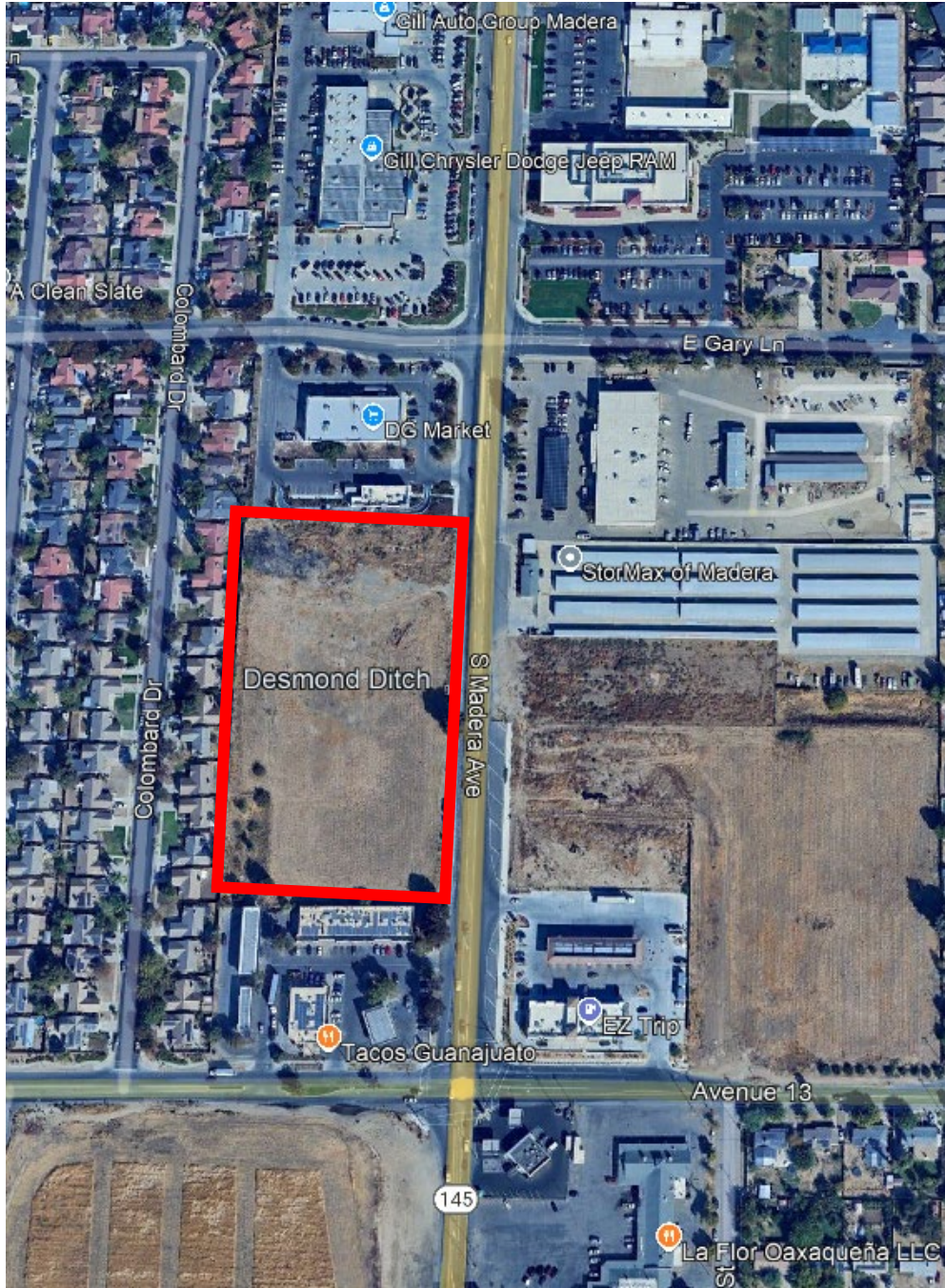
As an alternative, the Commission may elect to:

1. Move to refer the item back to staff and/or continue the public hearing to a future Commission meeting at a date certain with direction to staff to return with an updated staff report and/or resolution (Commission to specify date and reasons for continuance).
2. Move to deny one more request based on specified findings: (Commission to articulate reasons for denial).
3. Provide staff with other alternative directives.

## **ATTACHMENTS:**

1. Aerial Photo/Vicinity Map
2. Preliminary Plat Map
3. Site Plan
4. Elevations
5. Resolution
  - Exhibit "A": Conditions of Approval for TPM 2024-02 and Site Plan Review 2024-18
  - Exhibit "B": Tentative Parcel Map 2024-02 and Site Plan
6. California Department of Transportation (Caltrans) Letters of Requirements

**ATTACHMENT 1**  
Aerial Photo/Vicinity Map



**ATTACHMENT 2**  
Preliminary Plat Map

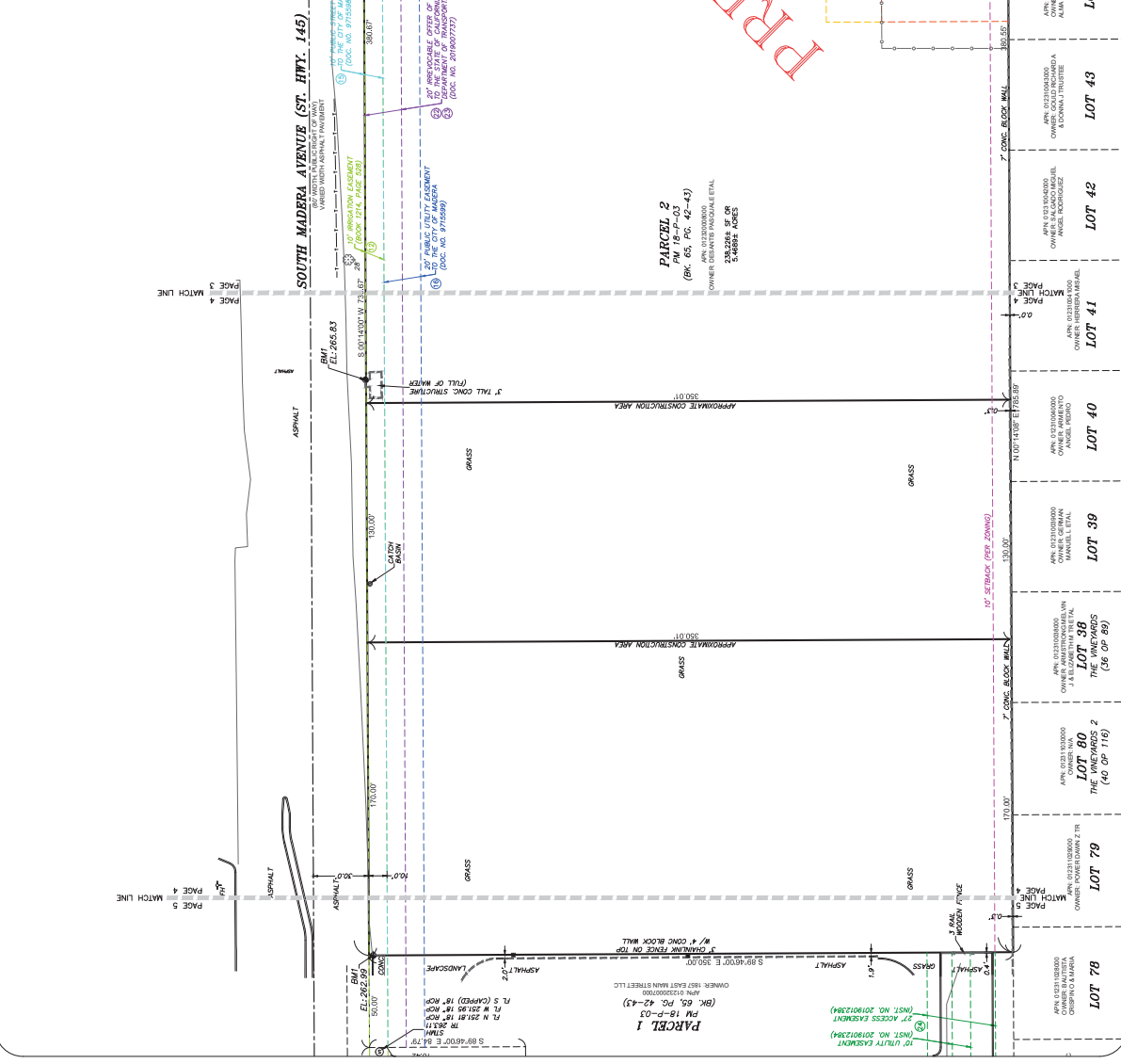
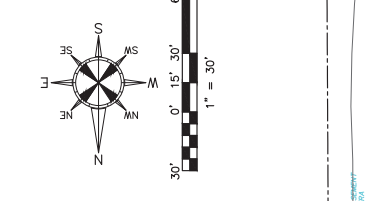
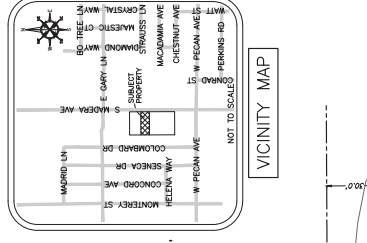


**LEGEND**

1" = 30'	1" = 15'	1" = 30'	1" = 30'
1" = 15'	1" = 30'	1" = 30'	1" = 30'
1" = 30'	1" = 30'	1" = 30'	1" = 30'

**LIST OF SYMBOLS**

1" = 30'	1" = 30'	1" = 30'	1" = 30'
1" = 30'	1" = 30'	1" = 30'	1" = 30'
1" = 30'	1" = 30'	1" = 30'	1" = 30'



**ALTA/NSPS LAND TITLE SURVEY**  
 FOR  
**AUTOZONE**

STORE NUMBER: 1132  
 PROPERTY ADDRESS:  
 NEAR CORNER OF SOUTH MADERA AVENUE, AND WEST GARY LANE,  
 ALTA SURVEY BASED AND BELIED ON  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 TITLE COMMITMENT NUMBER KC3-1162783-MICH,  
 CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023

**CERTIFICATION**  
 TO: FIRST AMERICAN TITLE INSURANCE COMPANY, JOHN W. AND NATALIA V. NIPP, PASQUALE AND CRISTINA DESANTIS, AND AUTOZONE

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED, COMPLY WITH THE REQUIREMENTS AND STANDARDS OF PRACTICE ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON: 02/15/2023.  
 DATE OF PLAN OR MAP: [TO BE DATED UPON SIGNATURE]  
 SUPERVISOR: SCOTT E. DHANA  
 STATE OF REGISTRATION: CALIFORNIA

RPPLS, LLC  
 1445 WEST 19TH STREET, SUITE 200, ANAHEIM, CA 92806  
 TEL: 714.942.1000  
 FAX: 714.942.1001  
 WWW.RPPLS.COM

SIGNATURE: \_\_\_\_\_

**AutoZone**

PRELIMINARY DRAWING DATE: 09/18/2023  
 STORE #: 1132  
 JOB NO: 30927AD  
 PAGE 2 OF 5

# ATTACHMENT 3

Site Plan

## PRELIMINARY IMPROVEMENT PLANS FOR AUTOZONE STORE #1132 SOUTH MADERA AVE (HWY 145) MADERA, CA 93637 APNs: 012-320-008-000

DESCRIPTION	LEGEND EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX'SD	XX'SD
SANITARY SEWER	XX'SS	XX'SS
WATER	XX'W	XX'W
GAS LINE	XX'G	XX'G
TELEPHONE MH	---	---
SDMH	---	---
DROP INLET	---	---
2x2 DROP INLET	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	---	---
SSCO	---	---
FIRE HYDRANT	---	---
PIV	---	---
FDC	---	---
WATER VALVE	---	---
WATER METER	---	---
CONCENTRIC REDUCER	---	---
REDUCED PRINCIPAL PRESSURE ASSEMBLY	---	---
REDUCED PRESSURE BACKFLOW PREVENTER	---	---
MONUMENT WELL	---	---
BOLLARD	---	---
GAS VALVE	---	---
UTILITY POLE	---	---
UTILITY POLE WITH LIGHT	---	---
STREET LIGHT	---	---
DOUBLE POST TOP STREET LIGHT	---	---
FENCE	---	---
INDEX CONTOUR	---	---
INTERMEDIATE CONTOURS	---	---
JUNCTION/PULL BOX	---	---
SIGN	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	---	---
PIPE CAP	---	---
ACCESSIBLE RAMP	---	---
CONTROL POINT	---	---
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	13.61 AC	MATCH (E)
TRUNCATED DOMES	---	---
BUILDING	---	---
DOOR	---	---
FIRE TURNING RADII	R=50'	R=25'

**ZONING:**  
C-2, HEAVY COMMERCIAL

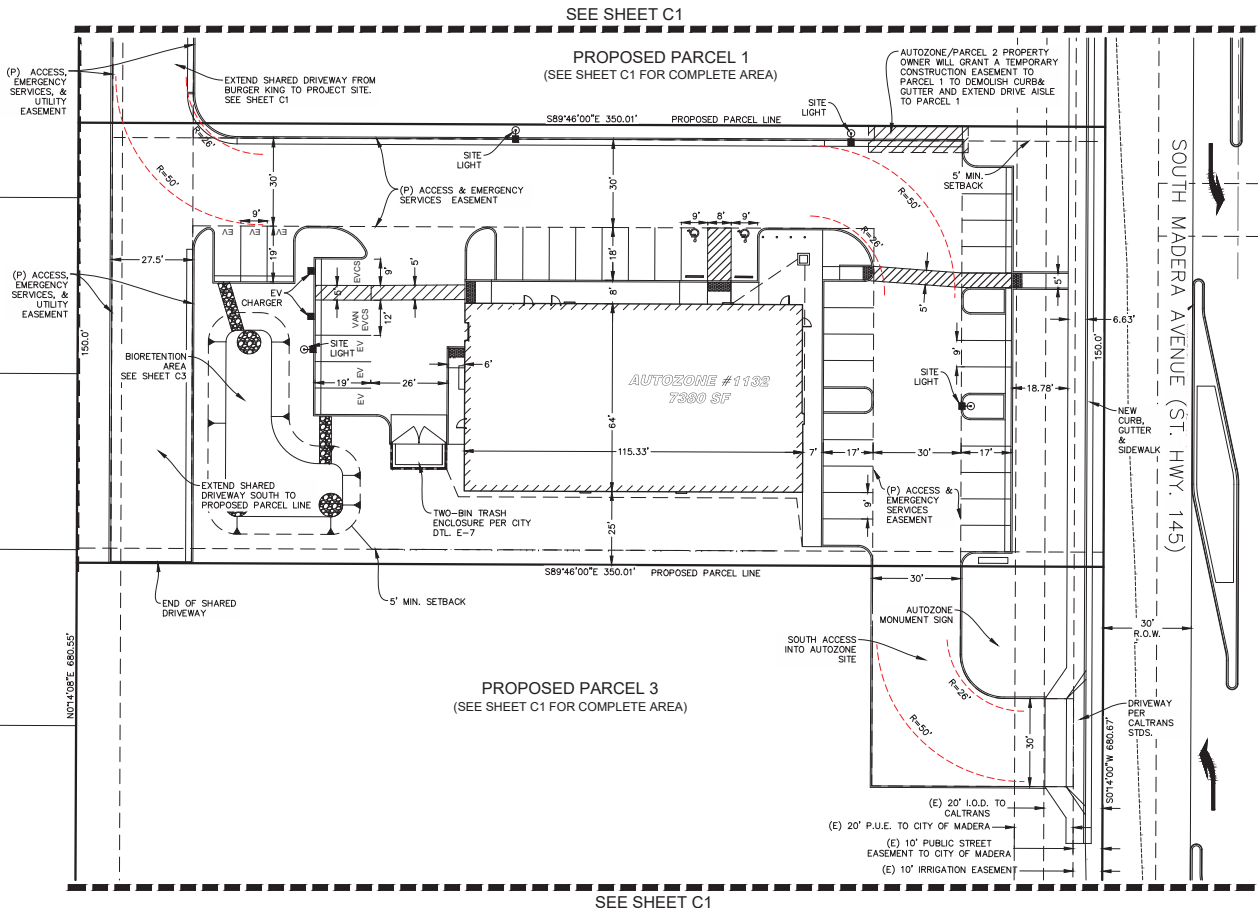
MINIMUM LOT AREA = 25,000 SF  
MINIMUM LOT WIDTH = 150 SF  
MINIMUM LOT DEPTH = 150 SF  
MAXIMUM F.A.R. = 0.50  
MAXIMUM BUILDING HEIGHT: 65'

FRONT SETBACK: 10' MIN.  
INTERIOR SIDE YARD SETBACK: 5' MIN.  
STREET SIDE YARD: 10' MIN.  
REAR YARD SETBACK: 15' MIN.\*\*

**EXCEPTIONS:**  
\*\*EXCEPT WHERE THE FRONTAGE IS ADJACENT TO A RESIDENTIAL ZONE, IN WHICH CASE THE FRONT YARD SHALL BE THE SAME AS REQUIRED IN SUCH RESIDENTIAL ZONE.

\*\*EXCEPT WHEN ADJACENT TO THE FRONT YARD OF A RESIDENTIALLY ZONED PROPERTY, IN WHICH CASE THE SETBACK SHALL BE THE SAME AS REQUIRED OF THE FRONT YARD OF THE ADJACENT RESIDENTIALLY ZONED PROPERTY.

\*\*SETBACK TO BE 5' MIN. EXCEPT WHEN ABUTTING A RESIDENTIAL ZONE, WHERE 15' MINIMUM IS REQUIRED.



**LAND COVERAGE:**  
LANDSCAPE AREA: 15,116 SF  
HARDSCAPE/BLDG/PAVEMENT AREA: 39,641 SF  
% LANDSCAPE: 28%

**FLOOR-TO-AREA**  
TOTAL (P) BUILDING FOOTPRINT = 7,380 SF ±  
AREA OF (P) PARCEL 2 = 52,502 SF ±  
F.A.R. = 0.14

**BUILDING INFORMATION**

EXISTING	N/A
PROPOSED	7,380 SF FOOTPRINT 1-STORY 26'-6" TALL

**PARKING INFORMATION**


ITEM	REQUIREMENTS	PROVIDED
PARKING REQUIRED	1 SPACE PER 300 SQ. FT OF COMMERCIAL SPACE 7,380 / 300 = 25	37
MINIMUM PARKING DIMENSIONS	19'0" STANDARD 16'8" COMPACT	SEE PLAN
MINIMUM DRIVE AISLE WIDTH	26'	30'
ACCESSIBLE SPACES	2 SPACES	2 SPACES
EV CAPABLE SPACES	8	8
EV SPACE WITH CHARGER	2	2
PARKING STANDARDS PER CITY OF MADRA MUNICIPAL CODE AND 2022 CALIFORNIA BUILDING CODE, CHAPTER 11B AND 2022 CALIFORNIA GREEN CODE CHAPTER 5		

TOTAL AREA DISTURBED: 1.70 ACRES

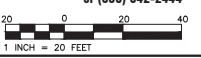
**PRELIMINARY RAW EARTHWORK SUMMARY**

CUT: 700 CY  
FILL: 736 CY  
NET: 36 CY (NET IMPORT)

NOTE:  
EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.



**Know what's below.  
Call before you dig.  
or (800) 642-2444**



**UTILITY REPRESENTATIVES**

UTILITY	COMPANY	CONTACT	PHONE
GAS	P.G.&E.	STEVE BARROW	559-675-3215
ELECTRIC	P.G.&E.	STEVE JONES	559-675-2268
TELEPHONE / INTERNET	COMCAST	JOHN BERTNER	559-455-4211
WATER	CITY OF MADRA IRRIGATION DISTRICT	ENGINEERING	559-673-3514
SEWER	CITY OF MADRA	KEITH HELMUTH	559-661-5418
DRAINAGE	CITY OF MADRA	KEITH HELMUTH	559-661-5418
FIRE	CONTRA COSTA FIRE DEPT.		925-941-3300

**NOT FOR CONSTRUCTION**

AUTOZONE STORE NO. 1132, SOUTH MADERA AVE. (HWY 145), MADERA, CA

PROJECT R23037

AUTOZONE PARTS, INC.  
126 SOUTH FRUIT ST.  
MEMPHIS, TN 38103  
CONTACT: KEVIN BURNER  
PHONE: 901-495-1625

PRELIMINARY SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION OF CALL

CWE  
2880 Douglas Blvd., Ste. 100, Roseville, CA 95668  
Ph: 916-772-3300 / 916-772-3301

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISION

CHECK NO. \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

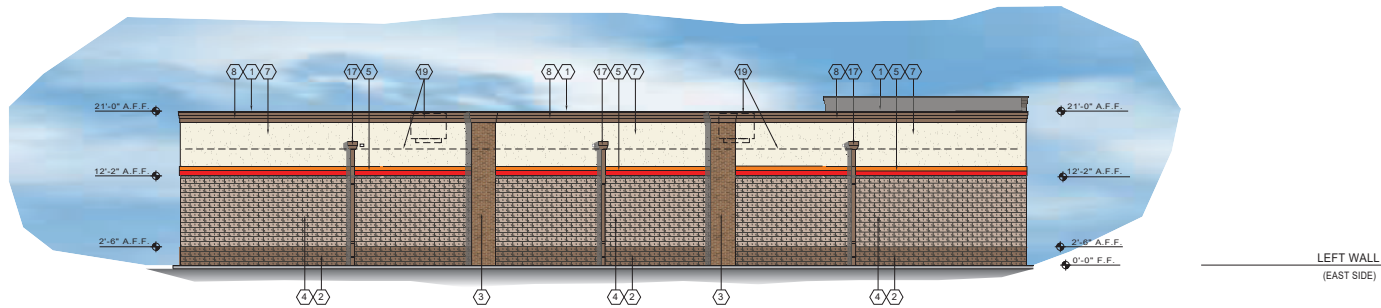
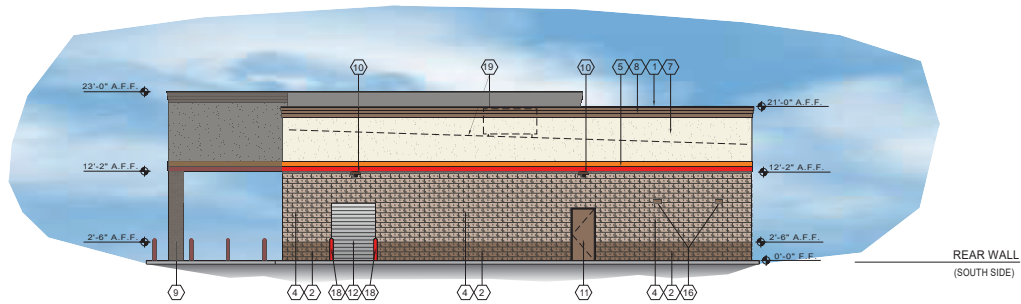
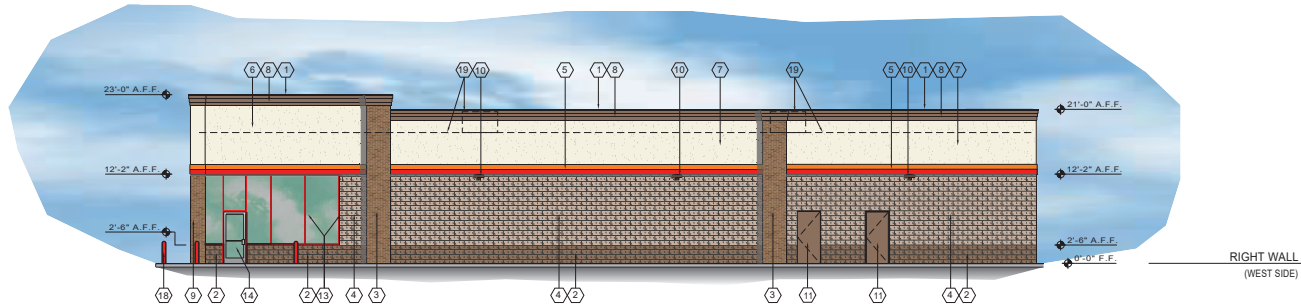
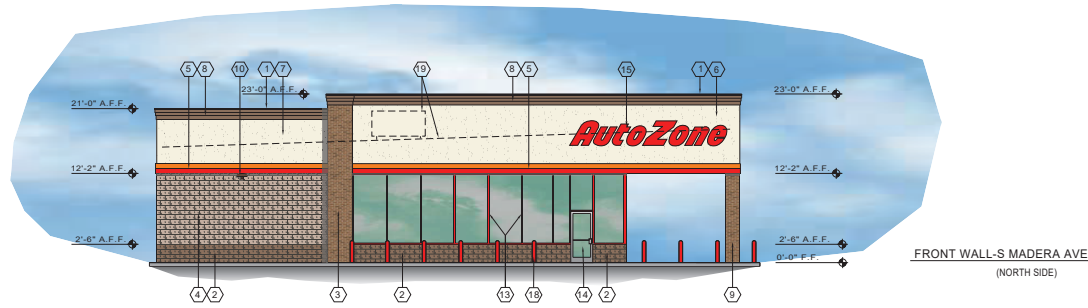
DESIGN: \_\_\_\_\_ DRAWN: \_\_\_\_\_ QUANT.: \_\_\_\_\_

TSM: \_\_\_\_\_ TSM: \_\_\_\_\_

KSD: \_\_\_\_\_ KSD: \_\_\_\_\_

APPROVED: \_\_\_\_\_

**ATTACHMENT 4**  
Elevations



- 1 TWO PIECE COMPRESSION TRIM COLOR: BLACK
- 2 SPLIT FACE CMU BASE - COLOR: C3
- 3 3'-4" WD x 4" DP. PILASTERS - THIN STONE BRICK VENEER FULL HT.-MATERIAL M2
- 4 SPLIT FACE CMU - COLOR: C2
- 5 DOUBLE 8" STUCCO BAND - 1" PROJECTION COLOR: C4 - COLORS SEPERATED BY 1/8" DP. SCORED GROOVE
- 6 STUCCO FINISH OVER STOREFRONT COLOR: C1
- 7 STUCCO FINISH OVER CMU - COLOR: C1
- 8 DECORATIVE CORNICE W/ STUCCO FINISH COLOR: C3
- 9 2' SQ. SPLIT FACE CMU COLUMN W/ THIN BRICK VENEER - MATERIAL: M1
- 10 WALL MOUNTED LIGHT FIXTURE COLOR: BRONZE
- 11 PAINT MAN DOOR COLOR: C3 & METAL FRAMES BLACK
- 12 OVERHEAD DELIVERY DOOR - ANODIZED FINISH
- 13 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 14 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 15 FRONT WALL SIGN: 38" CHANNEL LTRS NSTRP
- 16 TOILET WALL VENTS PAINT COLOR: C3
- 17 SCUPPERS AND DOWNSPOUTS PAINT COLOR: C2 ADJACENT 4"H. X 6"W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 18 PIPE GUARD WITH RED SLEEVE
- 19 ROOF LINE & FULLY SCREENED HVAC RTU'S

**2 ELEVATION KEY NOTES**

- |  |   |
|--|---|
|  | C1 - SW6091 - RELIABLE WHITE                                  |
|  | C2 - SW6086 - SAND DUNE                                       |
|  | C3 - SW6088 - NUTHATCH  |
|  | C4 - AUTOZONE TRADEMARK RED / ORANGE                          |
|  | M1 - GLEN GERY / SIOUX CITY BRICK THIN BRICK: BADLANDS VELOUR |

**3 COLOR & MATERIALS**

REVISIONS	
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

AutoZone Store No. 1132 SOUTH MADERA AVE (HWY 145)	MADERA CA 93637
COLOR EXTERIOR ELEVATIONS & NOTES	
Architect: George Callow 123 South Front Street Memphis, Tennessee 38103 TEL: (901) 495-8969 FAX: (901) 495-8969 For Bidding & Contractor Information Contact: McGraw - Hill Construction T. el. 615-884-1017 www.construction.com	
7N2-R	
CE1	

# ATTACHMENT 5

Development Review Committee Resolution

Including:

Exhibit "A": Conditions of Approval

Exhibit "B": Tentative Parcel Map 2024-02 and Site Plan Review  
2024-18

**RESOLUTION NO. 107**

**RESOLUTION OF THE DEVELOPMENT REVIEW COMMITTEE (DRC)  
DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO  
SECTION 15315/CLASS 15 (MINOR LAND DIVISIONS) AND SECTION 15332  
(IN-FILL DEVELOPMENT PROJECTS) OF THE CALIFORNIA ENVIRONMENTAL  
QUALITY ACT (CEQA) GUIDELINES AND APPROVING TENTATIVE PARCEL  
MAP 2024-02 AND SITE PLAN REVIEW 2024-18**

**WHEREAS**, Pasquale DeSantis Etal (“Owner”) owns Assessor’s Parcel Number (APN) 012-320-008 located on the west side of Madera Avenue between Gary Lane and West Pecan Avenue (“Site”); and

**WHEREAS**, AutoZone Parts, Inc. (“Applicant”) has applied for Tentative Parcel Map (TPM) 2024-02 and Site Plan Review (SPR) 2024-18 (“Project”); and

**WHEREAS**, TPM 2024-02 proposes to subdivide the ±5.49-acre site into three (3) parcels; and

**WHEREAS**, SPR 2024-18 proposes to develop a 7,380 square foot retail auto parts store on Parcel 2 of TPM 2024-02; and

**WHEREAS**, a preliminary environmental assessment was performed and the project was found to be Categorically Exempt pursuant to Section 15315 (Minor Land Divisions) and Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines; and

**WHEREAS**, pursuant to the provisions of the City’s Municipal Code (CMC), the Development Review Committee is authorized to review and approve tentative parcel maps and environmental assessments for associated projects on behalf of the City; and

**WHEREAS**, the City provided notice of the Development Review Committee hearing as required by law; and

**WHEREAS**, the Development Review Committee received and independently reviewed TPM 2024-02 and SPR 2024-18 at a duly noticed meeting on October 28, 2024; and

**WHEREAS**, a public hearing was held, the public was provided an opportunity to comment, and evidence, both written and oral, was considered by the Development Review Committee; and

**WHEREAS**, after due consideration of the items before it, the Development Review Committee now desires to adopt this Resolution approving TPM 2024-02 and SPR 2024-18.

**NOW THEREFORE**, be it resolved by the Development Review Committee of the City of Madera as follows:

1. Recitals: The above recitals are true and correct and are incorporated herein.
2. CEQA: A preliminary environmental assessment was prepared for this project in accordance with the requirements of the California Environmental Quality Act (CEQA). The

Development Review Committee finds and determines that the project is exempt under Section 15315/Class 15 (Minor Land Divisions) and Section 15332/Class 32 (In-fill Development Projects) of the State CEQA Guidelines as the project includes the subdivision of property in an urbanized area zoned for commercial use into three parcels which is in conformance with the City of Madera General Plan and Zoning Ordinance. No variances or exceptions are required, and all services and access to the proposed parcels are available. The proposed construction for the commercial building will not exceed 10,000 square feet in floor area. The proposed development on the newly created Parcel 2 will not exceed five acres, is consistent with the Zoning District and General Plan land use designation and is surrounded by existing development. The surrounding area is not environmentally sensitive and has no value as habitat for endangered, rare or threatened species. No significant effects relating to traffic, noise, air or water quality will result. Further, none of the exceptions under Section 15300.2 of the CEQA Guidelines are applicable to this project and there are no unusual circumstances.

3. Findings for TPM 2024-02: The Development Review Committee finds and determines that there is substantial evidence in the administrative record to support the approval of TPM 2024-02, as conditioned. With conditions, the project is consistent with the requirements of the Madera Municipal Code. The Development Review Committee further approves, accepts as its own, incorporates as if set forth in full herein, and makes each and every one of the findings, based on the evidence in the record, as follows:

*Finding a. The proposal is consistent with the General Plan and Zoning Ordinance.*

Basis for Finding: The site has a General Plan land use designation of Commercial and is zoned C2 (Heavy Commercial), consistent with the General Plan pursuant to Table LU-A: General Plan/Zoning Consistency.

*Finding b. The proposal is consistent with the Subdivision Ordinance and the California State Subdivision Map Act.*

Basis for Finding: The proposed parcel map and required supporting documents are consistent with the requirements of the City Municipal Code. In addition, none of the exclusions provided at Section 66412 of the Government Code (Subdivision Map Act) apply and all other requirements of the Subdivision Map Act are satisfied.

4. Findings to Approve SPR 2024-18: The Development Review Committee finds and determines that there is substantial evidence in the administrative record to support the approval of the Site Plan Review, as conditioned. With conditions, the project is consistent with the requirements of the Municipal Code, including Section 10-3.4.0106. The Development Review Committee further approves, accepts as its own, incorporates as if set forth in full herein, and makes each and every one of the findings, based on the evidence in the record, as follows:

*Finding a: The proposal is consistent with the General Plan and Zoning Ordinance.*

The General Plan designates the subject site for commercial uses and the site is zoned C2 (Heavy Commercial), which is consistent with the Commercial land use category pursuant to Table LU-A: General Plan/Zoning Consistency of the



Madera General Plan. Retail facilities are classified as uses permitted in any Commercial (C) zones. Conditions of approval pertaining to operations will ensure consistency with General Plan goals and policies as well as the development, operational, and performance standards of the Zoning Regulations.

*Finding b: The proposed project includes facilities and improvements; vehicular and pedestrian ingress, egress, and internal circulation; and location of structures, services, walls, landscaping, and drainage that are so arranged that traffic congestion is avoided, pedestrian and vehicular safety and welfare are protected, there will be no adverse effects on surrounding property, light is deflected away from adjoining properties and public streets, and environmental impacts are reduced to acceptable levels.*

The project has been reviewed and is consistent with the surrounding uses and with all applicable requirements for development in a Heavy Commercial zone district. All public right-of-way improvements required and on-site utilities have been conditioned to be constructed and will be constructed in accordance with City and Caltrans standard with adequate capacity to serve the proposed project. Review of the site determined that the project would not result in a significant generation of noise, light, or traffic.

*Finding c: The proposed project is consistent with established legislative policies relating to traffic safety, street dedications, street improvements, and environmental quality.*

The Site Plan Review will not have a significant impact on traffic or the environment as the project site is within an urbanized area therefore classified as infill development. The project has been reviewed to not be detrimental or injurious to property and improvements in the neighborhood or general welfare of the City.

5. Approval of TPM 2024-02 and SPR 2024-18: Given that all findings can be made, the Development Review Committee hereby approves TPM 2024-02 and SPR 2024-18 as conditioned as set forth in the Conditions of Approval attached as Exhibit "A."

6. Effective Date: This resolution is effective immediately.

\* \* \* \* \*

Passed and adopted by the Development Review Committee of the City of Madera this 28<sup>th</sup> day of October 2024, by the following vote:

AYES:

NOES:

ABSTENTIONS:

ABSENT:

---

Development Review Committee  
Chairperson

Attest:

---

Brandi Garcia  
Recording Secretary

Exhibit "A": Conditions of Approval for TPM 2024-02 and Site Plan Review 2024-18

Exhibit "B": Tentative Parcel Map 2024-02 and Site Plan Review 2024-18

**EXHIBIT "A"**  
**TPM 2024-02 AND SPR 2024-18**  
**CONDITIONS OF APPROVAL**  
**October 28, 2024**

**Notice to Applicant**

In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedications, reservations, or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within ninety (90) calendar days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

**IMPORTANT: PLEASE READ CAREFULLY**

This project is subject to a variety of discretionary conditions of approval. These include conditions based on adopted City plans and policies; those determined through tentative parcel map review and environmental assessment essential to mitigate adverse effects on the environment including the health, safety, and welfare of the community; and recommended conditions for development that are not essential to health, safety, and welfare, but would on the whole enhance the project and its relationship to the neighborhood and environment.

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings can be made.

All discretionary conditions of approval for TPM 2024-02 will ultimately be deemed mandatory unless appealed by the applicant to the Planning Commission within fifteen (15) days after the decision by the Development Review Committee. In the event you wish to appeal the Development Review Committee's decision or discretionary conditions of approval for the entitlement, you may do so by filing a written appeal with the City Clerk. The appeal shall state the grounds for the appeal and wherein the Committee failed to conform to the requirements of the zoning ordinance. This should include identification of the decision or action appealed and specific reasons why you believe the decision or action appealed should not be upheld.

These conditions are applicable to any person or entity making use of this parcel map, and references to "developer" or "applicant" herein also include any applicant, property owner, owner, leasee, operator, or any other person or entity making use of this parcel map.

**TIME LIMITS & EXPIRATION**

This tentative parcel map approval (TPM 2024-02) shall expire twenty-four (24) months from the effective date, unless a final map is filed with the City of Madera and recorded with the County Recorder in accordance with the provisions of the Subdivision Map Act; or action is taken to extend the approval before the tentative parcel map expiration date in accordance with the provisions of the Subdivision Map Act.

## GENERAL CONDITIONS

1. The applicant shall submit to the City of Madera Planning Department a check in the amount necessary to file a Notice of Exemption at the Madera County Clerk. This amount shall equal the Madera County filing fee in effect at the time of filing. **Such check shall be made payable to the Madera County Clerk and submitted to the City of Madera Planning Department no later than three (3) days following action on TPM 2024-02.**
2. Approval of this tentative parcel map shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development.
3. Approval of this tentative parcel map may become null and void in the event that the parcel map or conditions of the site is not completed in accordance with all the conditions and requirements imposed on this tentative parcel map, the zoning ordinance, and all City standards and specifications. This tentative parcel map is granted, and the conditions imposed, based upon the application submittal provided by the applicant, including any operational statement. The application is material to the issuance of this parcel map. Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the parcel map or any other enforcement remedy available under the law. The City shall not assume responsibility for any deletions or omissions resulting from the site plan review process or for additions or alterations to any construction or building plans not specifically submitted and reviewed and approved pursuant to this tentative parcel map or subsequent amendments or revisions. These conditions are conditions imposed solely upon the tentative parcel map and are not conditions imposed on the City or any third party. Likewise, imposition of conditions to ensure compliance with federal, state, or local laws and regulations does not preclude any other type of compliance enforcement.
4. These conditions are applicable to any person or entity making use of this tentative parcel map, and references to “developer” or “applicant” herein also include any applicant, property owner, owner, lessee, operator, or any other person or entity making use of this tentative parcel map.
5. Approval of this project is for the benefit of the applicant. The submittal of applications by the applicant for this project was a voluntary act on the part of the applicant not required by the City. Therefore, as a condition of approval of this project, the applicant agrees to defend, indemnify, and hold harmless the City of Madera and its agents, officers, consultants, independent contractors, and employees (“City”) from any and all claims, actions, or proceedings against the City to attack, set aside, void, or annul an approval by the City concerning the project, including any challenges to associated environmental review, and for any and all costs, attorneys fees, and damages arising therefrom (collectively “claim”).

The City shall promptly notify the applicant of any claim, and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.

Nothing in this condition shall obligate the City to defend any claim and the City shall not be required to pay or perform any settlement arising from any such claim not defended by the City, unless the City approves the settlement in writing. Nor shall the City be prohibited from independently defending any claim, and if the City does decide to independently defend a claim, the applicant shall be responsible for City's attorneys' fees, expenses of litigation, and costs for that independent defense, including the costs of preparing any required administrative record.

Should the City decide to independently defend any claim, the applicant shall not be required to pay or perform any settlement arising from any such claim unless the applicant approves the settlement.

## **PLANNING DEPARTMENT**

### Trash Enclosure

6. Project shall comply with the provisions of SB 1383 and provide an enclosure that can accommodate general waste, recyclables, and organic waste. Unless approved for an exemption to SB 1383, the project shall comply with this requirement prior to final occupancy.

### Landscaping

7. Applicant shall provide landscaping and irrigation plans for the proposed landscaping. Plans are to be stamped by a California state landscaping architect.
8. The property owner shall maintain all landscaping in a healthy and well-manicured appearance to achieve and maintain the landscaping design that was approved by the City. This includes, but is not limited to, ensuring properly operating irrigation equipment at all times, trimming and pruning of trees and shrubs, and replacing dead or unhealthy vegetation with drought-tolerant plantings.

### Parking

9. Project shall comply with mandatory requirements based on the California Green Building Standards for Electric Vehicle (EV) parking spaces for nonresidential projects.
  - a. The final parking total falls under the 26 to 50 total number of parking spaces in Table 5.106.5.3.1 of the California Green Building Code.
  - b. Project shall provide eight (8) EV capable spaces and two (2) EVCS.
10. All standard parking spaces shall follow the dimensions of 9' by 19'. These dimensions shall not apply to specific EV or compact parking spaces.

## **ENGINEERING DEPARTMENT**

### General

11. Deferrals are not permitted for any condition included herein, unless otherwise stated.
12. Nuisance onsite lighting shall be redirected as requested by City Engineer within 48 hours of notification.
13. Development Impact fees shall be paid at time of building permit issuance.
14. Developer shall pay all required fees for completion of project. Fees due may include but shall not be limited to the following: plan review, easement acceptance, encroachment permit processing and improvement inspection fees.
15. Improvement plans signed and sealed by an engineer shall be submitted to the Engineering Division in accordance with the Civil Improvements Submittal Checklist.
16. The improvement plans for the project shall include the most recent version of the City's General Notes.
17. In the event archeological resources are unearthed or discovered during any construction activities on site, construction activities shall cease, and the Community Development Director or City Engineer shall be notified so that procedures required by state law can be implemented.
18. Improvements within the City right-of-way require an Encroachment Permit from the Engineering Division.
19. Improvements within the State of California right-of-way require an Encroachment Permit from Caltrans.
20. The developer shall incorporate improvements from comments made by Caltrans in a letter dated June 14, 2024.
21. All off-site improvements shall be completed prior to issuance of final occupancy.
22. The applicant shall coordinate with the United States Post Office relative to the proposed location of the postal boxes for the project.

### Water

23. New or existing water service connection(s), including landscape areas, shall be constructed or upgraded to current City standards including Automatic Meter Reading (AMR) water meter installed within City right-of-way and backflow prevention device installed within private property.
24. A separate water meter and backflow prevention device will be required for landscape area(s).
25. Water meters shall be installed, and account activated through the City's Utility Billing Department prior to commencement of foundations and/or pads. Immediate installation can be delayed subject to use of a metered hydrant utilizing meter supplied through the Public Works Department along with appropriate measures to ensure water from the

future lateral not be used until a permanent meter and backflow prevention device is installed.

26. Existing water service connections that will not be used for the project shall be abandoned at the mains per City of Madera standards.
27. Existing wells, if any, shall be abandoned as directed and permitted by City of Madera for compliance with State standards, prior to issuance of building permits or any activities in which the well to be abandoned may be further damaged resulting in potential contamination to the aquifer below.
28. The developer shall reimburse one half of the 8-inch component, its fair share cost, to the City for the previously constructed water main along the entire AutoZone project (Proposed Parcel 2) frontage on Madera Avenue.
29. New or existing sewer service connection(s) shall be constructed or upgraded to current City standards.
30. Existing sewer service connections that will not be used for the project shall be abandoned at the mains per current City of Madera standards.
31. Sewer main connections six (6) inches and larger in diameter shall require manhole installation.
32. Existing septic tanks, if found, shall be removed, permitted and inspected by City of Madera Building Department.
33. The developer shall either:
  - a. Construct an 8-inch sewer main extension in Madera Avenue from the current termination point north of the site to the southernmost proposed property line of the AutoZone project (Proposed Parcel 2). Half of the 8-inch component is reimbursable from adjacent properties as they develop and connect.
  - b. Construct a sewer main extension in along the west side of the AutoZone project (Proposed Parcel 2) from the current termination point north of the site (Burger King) to the southernmost proposed property line of the AutoZone project (Proposed Parcel 2). The developer is responsible for ensuring sufficient capacity (slope and size) are available from remaining undeveloped land south of the AutoZone project.

#### Storm Drain

34. Storm runoff from this project site is planned to go to Agajanian Basin located southwest of this project site. The developer shall construct sufficient facilities, as determined by the drainage study, to convey storm runoff to the existing basin and excavate the basin to an amount equivalent to this project's impact on the basin. A detailed drainage study shall be provided to support the design of the conveyance facilities.  
In lieu of constructing conveyance facilities, the developer shall fully implement the requirements of the City's NPDES permit cited below relative to ensuring that post development runoff shall not exceed pre-development runoff with any additional runoff

captured onsite. Methods of addressing this condition may include those utilized by the Dollar General and/or the Burger King.

35. A Madera Irrigation District (MID) approval block shall be shown on the final improvement plans.
36. This project shall, as applicable, comply with the design criteria as listed on the National Pollutant Discharge Elimination Systems (NPDES) General Permit for Storm Water Discharges from Small Municipal Separate Storm Sewer System (MS4's) as mandated by Water Quality Order No. 2013-0001-DWQ, NPDES General Permit No. CAS000004. For the purpose of this proposed development, post development runoff shall match or be less than pre-development runoff. The development shall enter into a covenant with the City that allows for future inspections by City or other designated agencies relative to the improvements installed as a result of this condition to ensure they remain in compliance with the conditions imposed under this condition.

#### Streets

37. The west half of Madera Avenue along the entire project frontage shall be improved to a 100-foot arterial roadway standard or cross section as required by Caltrans. The west half of the street shall include but not be limited to fire hydrants, streetlights, curb and gutter, park strip, sidewalk and a 30-foot paved asphalt section and 16-foot landscaped median island. Adequate transitions with the existing improvements relative to grade and alignment shall be provided.
38. In accordance with the first conditions (Dollar General) of development of the original 8.2-acre located between Gary Lane and the Union 76 Gas station/convenience store, the Madera Avenue frontage shall be limited to two driveways. The first driveway, was located at Burger King. Those same conditions also stated that circulation is to be readily shared with all future development on the parcel to the south of the Dollar General.
39. "No Parking" signs shall be installed along Madera Avenue in accordance with City standards.
40. Although the proposed driveway adheres to the City's minimum separation of 400 to 500 feet of driveways on arterial roadways, it creates a second full access median opening and potentially violates the limitation to the number of driveways associated with the original 8.2-acre parcel. The developer shall either:
  - a. Construct the proposed driveway in the location shown on the site plan dated August 28, 2024, or
  - b. Secure authorization from Caltrans for deviation from separation standard  
Regardless of driveway location, Caltrans may elect to limit the number of median openings.
41. The remainder of the site shall be master planned to conform to driveway separation requirements including provisions for shared access.



42. The proposed drive approach, if approved for reduced separation by Caltrans shall be set with the requirement that it does not conflict with the operation of the driveway on the opposite side of the street.
43. The proposed drive approach on Madera Avenue shall be constructed to a street-type entrance with a minimum face curb radius of 15 feet and be constructed to current City and ADA standards or as may be directed by Caltrans.
44. The driveway approach shall have a minimum throat length of thirty (30) feet from face of curb to eliminate the possibility of vehicles queuing into the City right-of-way.
45. The developer shall annex into and execute such required documents that may be required to participate in Landscape Maintenance District Zone 51 for the purpose of participating in the cost of maintaining landscape improvements within said zone.
46. The developer shall record a Reciprocal Easement Agreement for ingress/egress, utility, drainage, access for emergency services, and parking easements in the City of Madera standard form. The easements shall provide the mutual right of access for all future uses in the project site and adjacent parcels including the Union 76 gas station/convenience store. The agreement shall reflect the language included in the Covenant, Conditions, Easements, and Restrictions (CC&R) relating to the maintenance of shared utilities. At a minimum, the Reciprocal Easement Agreement should provide a responsible party and method in which said responsibility is conveyed to future successors. The developer shall be responsible for paying all associated fees to the Engineering Department. If an existing cross access agreement has already been recorded, it shall be revised based upon the proposed changes.

#### Dry Utilities

47. All existing and proposed public utilities (electric, telephone, cable, etc.) shall be undergrounded, except transformers, which may be mounted on pads. Public utility easements shall be dedicated outside and adjacent to all streets rights-of-way. All public utilities within the project property and adjacent to the project property frontage on peripheral streets (on the development side of the street centerline) shall be placed underground except those facilities exempted by the Public Utilities Commission Regulations or operating at 70,000 volts or greater. Undergrounding of utilities shall not result in the addition of new poles being installed on other properties or street frontages.

#### Parcel Map

48. The developer shall pay all required fees for processing the parcel map and completion of project. Fees due may include but shall not be limited to the following: parcel map review and processing fee, plan review, map recording, easement acceptance, encroachment permit processing and improvement inspection fees.
49. A final parcel map shall be required in accordance with Section 10-2.502 of the municipal code and the Subdivision Map Act.
50. Future subdivision of parcels created shall comply with the Subdivision Map Act.

51. Monuments shall be placed at all parcel corners and shown on the parcel map in accordance with the California Subdivision Map Act, the California Land Surveyors Act and City Standards prior to development of property.
52. Parcel map preliminary submittal shall include three sets of prints; and two sets of the following: title report, soils report, traverse data, signed tentative parcel map conditions and all referenced deeds, map and documents.
53. Any and all public or private easements on the property identified on the title report shall be shown on the parcel map with recording data.
54. Prior to recording of the parcel map, any current, delinquent, or estimated Madera County or Madera Irrigation District taxes for the upcoming assessment year shall be paid in accordance with Subdivision Map Act Section 66492-66494.1.
55. Prior to the construction of improvements within the City right-of-way, an Encroachment Permit shall be required from the Engineering Division.
56. Where construction of off-site improvements or utility services is required, it shall be completed prior to issuance of final occupancy; or, in the case where no future occupancies are anticipated as part of the current action, the Subdivider shall either construct or install the required improvements or enter into a bonded secured agreement with the City of Madera providing for the construction of the required improvements and sufficient security prior to the recordation of the final Parcel Map.
57. Further development of any parcel of parcel map shall meet fire, building, and municipal code requirements for the zone and the approved use.
58. Structures or any facility encroaching onto adjacent new parcel shall be removed prior to recording of the parcel map. Structure modification shall comply with building codes and setbacks.
59. A title report dated no more than 30 days prior to recording date of parcel map shall be submitted to the City Engineer for review prior to parcel map recordation.
60. Each newly created parcel shall have a separate water service. Any new or existing connection(s) shall be constructed or upgraded to current City standards including Automatic Meter Reading (AMR) water meter installed within City right-of-way and backflow prevention device installed within private property. Existing cross lot connections shall be severed.
61. Each newly created parcel shall have a separate sewer service unless constructed as part of a master sewer system that is part of a Reciprocal Easement Agreement . Any new or existing connection(s) shall be constructed or upgraded to current City standards. Existing cross lot connections shall be severed.
62. The developer shall record a Reciprocal Easement Agreement for ingress/egress, cross-access, utility, drainage, emergency services, and parking easements in the City of Madera standard form. The easements shall provide the mutual right of access for all future uses in the project site. The agreement shall reflect the language included in the Covenant,

Conditions, Easements, and Restrictions (CC&R) relating to the maintenance of shared utilities. At a minimum, the Reciprocal Easement Agreement should provide a responsible party and method in which said responsibility is conveyed to future successors. The developer shall be responsible for paying all associated fees to the Engineering Department. If an existing cross access agreement has already been recorded, it shall be revised based upon the proposed changes.

**CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS)**

63. Project shall comply with all Caltrans requirements. Refer to Caltrans letters dated June 14, 2024 and September 17, 2024 in Attachment 5.

**MADERA IRRIGATION DISTRICT**

64. Madera Irrigation District (MID) has 36" cast-in-place pipeline along the east property line. The applicant shall be required to replace the pipeline within Parcel 1 and Parcel 2 prior to any development.

END OF CONDITIONS

**SHEET INDEX:**

- CIVIL**  
 C1 PRELIMINARY OVERALL PLAN  
 C2 PRELIMINARY SITE PLAN  
 C3.1 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN 1  
 C3.2 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN 2  
 C4 PRELIMINARY WATER AND SANITARY SEWER PLAN

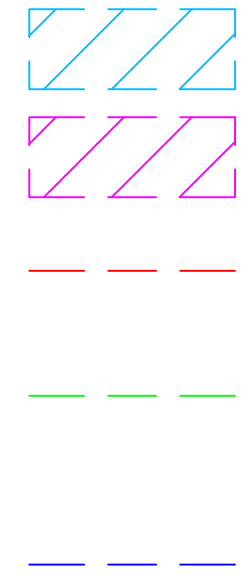
- LANDSCAPE (BY MSLA LANDSCAPE ARCHITECTURE, INC.)**  
 P1 PRELIMINARY LANDSCAPE PLAN

- ARCHITECTURAL**  
 A-1 FLOOR PLAN  
 A-6 ROOF PLAN  
 PH1 PHOTOMETRIC PLAN  
 CE1 COLORED ELEVATIONS

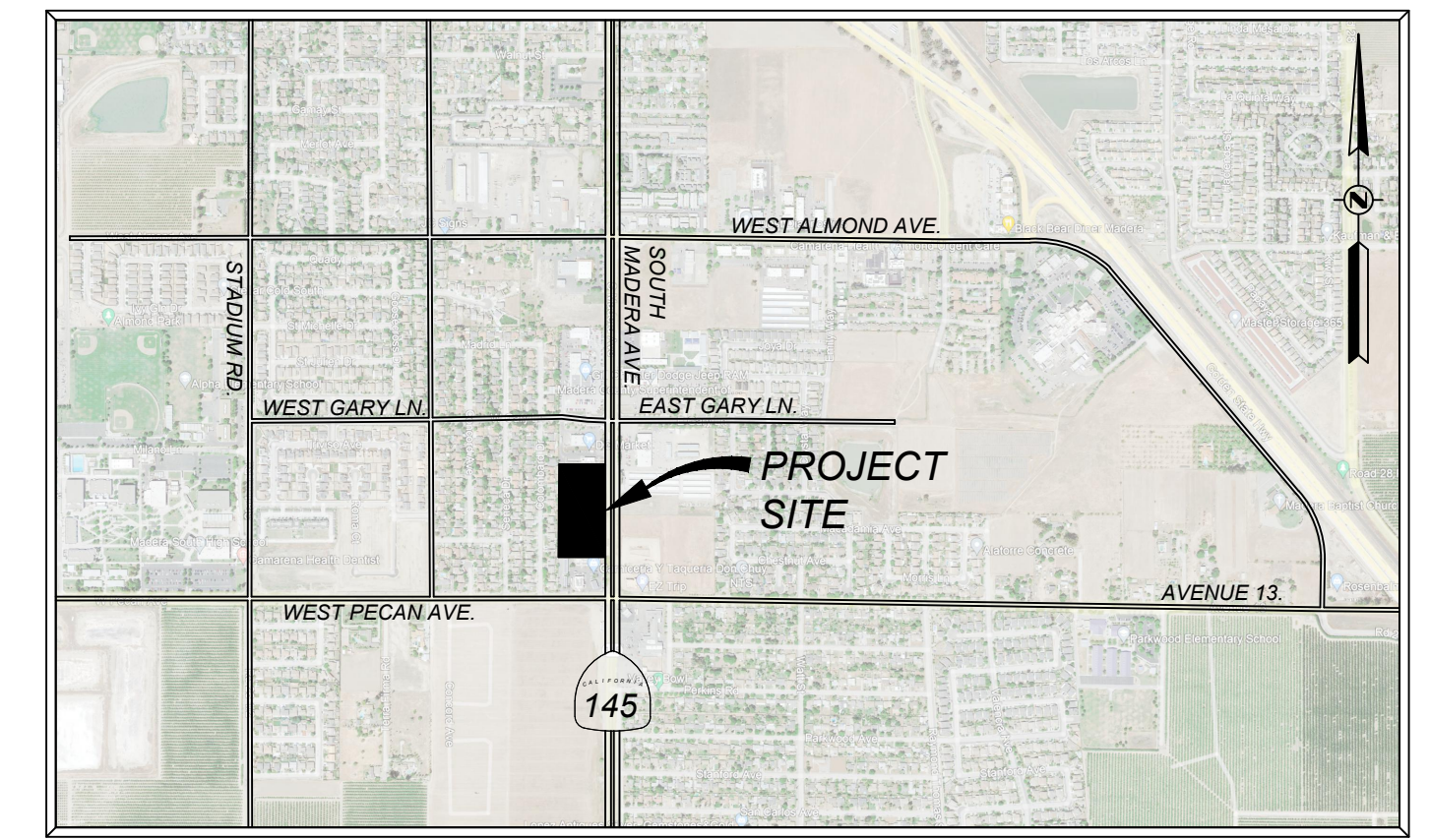
- ALTA SURVEY (BY RPLS, LLC)**  
 FIVE SHEETS

**LEGEND**

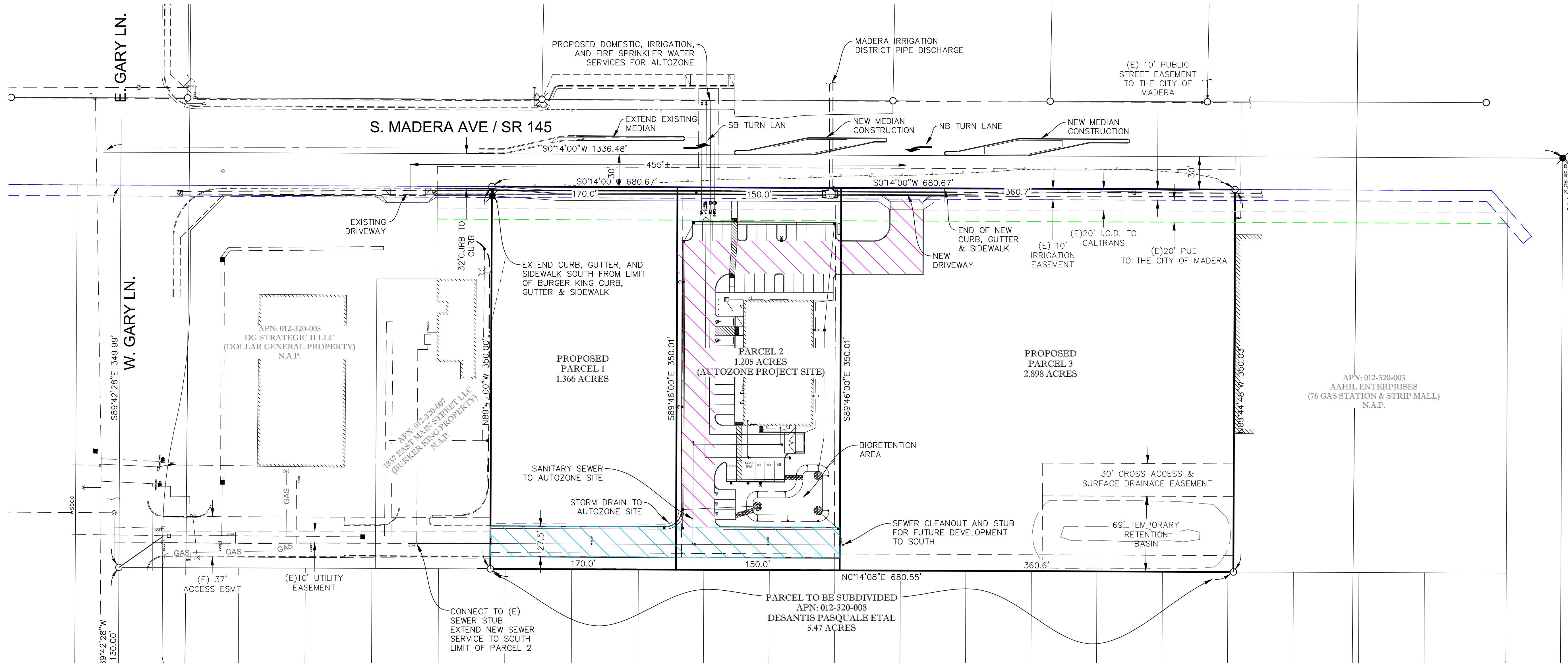
- PROPOSED ACCESS, EMERGENCY SERVICES, & UTILITY EASEMENT
- PROPOSED ACCESS & EMERGENCY SERVICES EASEMENT
- EXISTING 20' I.O.D. TO STATE OF CALIFORNIA DEPT. OF TRANSPORTATION (DOC. NO. 2019007737)
- EXISTING 20' PUE TO CITY OF MADERA (DOC. NO. 9715599)
- EXISTING 10' PUBLIC STREET EASEMENT TO CITY OF MADERA (DOC. ON. 9715598) AND EXISTING 10' IRRIGATION EASEMENT (BOOK 1214, PAGE 528)



PRELIMINARY IMPROVEMENT PLANS FOR  
**AUTOZONE STORE #1132**  
 SOUTH MADERA AVE (HWY 145)  
 MADERA, CA 93637  
 APNs: 012-320-008-000



**VICINITY MAP**  
 NOT TO SCALE



**ALTA/NSPS LAND SURVEY:**

COMPLETED BY: RPLS, LLC  
 312 NE 145TH PLACE  
 EDMOND, OK 73013  
 PHONE: (855) 283-2333  
 SURVEY DATE: 02/15/2023

**BENCHMARK:**

STATE PLANE ZONE  
 0403 CALIFORNIA ZONE 3  
 HORIZONTAL DATUM: NAD 83  
 VERTICAL DATUM: NAVD 88 OPUS CORRECTED

**BENCHMARK #1**  
 SET CUT BOX ON TOP OF CURB LOCATED ON-SITE WEST OF SOUTH MADERA AVENUE, 5.6' SOUTH AND 14.4' WEST OF THE NE PROPERTY CORNER  
 (N = 1,801,310.2252 | E = 6,691,380.8316)  
 ELEVATION: 262.99'

**BENCHMARK #2**  
 SET CUT BOX ON TOP OF WALL LOCATED ON-SITE WEST OF SOUTH MADERA AVENUE, 318.1' NORTH AND 10.6' WEST OF THE NE PROPERTY CORNER  
 (N = 1,800,997.7479 | E = 6,691,385.0436)  
 ELEVATION: 265.83'

**JURISDICTION:**

CITY OF MADERA, CA

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS FOR THIS PROJECT IS THE EASTERN LINE OF THE SITE WHICH IS THE WESTERN LINE OF SOUTH MADERA AVENUE (STATE HIGHWAY 145) RIGHT-OF-WAY, KNOWN AS NORTH 00°14'00" EAST, AS DESCRIBED IN PARCEL MAP NO. 18-P-03, BOOK PARCEL MAP NO. 18-P-03, BOOK BOOK 65 OF PARCEL MAPS, PAGES 42 AND 43, OF OFFICIAL RECORDS IN OFFICIAL RECORDS IN COUNTY OF MADERA, STATE OF CALIFORNIA, DATED MAY 3, 2019., DATED MAY 3, 2019, MAY 3, 2019.

**PROPERTY OWNER:**

DESANTIS PASQUALE ETAL  
 P.O. BOX 3377 FRESNO, CA 93650

**DEVELOPER:**

AUTOZONE PARTS, INC.  
 123 SOUTH FRONT ST  
 MEMPHIS, TN 38103  
 CONTACT: KEVIN MURPHY  
 PHONE: (901) 495-7625

**UNDERGROUND UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**FEMA FLOOD ZONE:**

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NO. 060172.  
 MAP NUMBER: 06039C1160E  
 EFFECTIVE DATE: SEPTEMBER 26, 2008

**PARCEL DATA:**

APN: 012-320-008	± 238,226 SF	± 5.469 ACRES
EXISTING LOT AREA:		
PROPOSED LOT AREAS:		
PARCEL 1 AREA:	± 59,501 SF	± 1.366 ACRES
PARCEL 2 AREA:	± 52,502 SF	± 1.205 ACRES
PARCEL 3 AREA:	± 126,222 SF	± 2.898 ACRES

**ZONING:**

C-2, HEAVY COMMERCIAL

MINIMUM LOT AREA = 25,000 SF  
 MINIMUM LOT WIDTH = 150 SF  
 MINIMUM LOT DEPTH = 150 SF  
 MAXIMUM F.A.R.: 0.50  
 MAXIMUM BUILDING HEIGHT: 65'

FRONT SETBACK: 10' MIN\*  
 INTERIOR SIDE YARD SETBACK: 5' MIN  
 STREET SIDE YARD: 10' MIN\*  
 REAR YARD SETBACK: 15' MIN\*\*

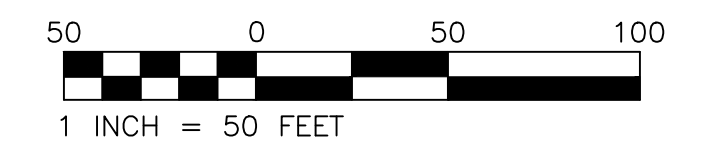
**EXCEPTIONS:**  
 \*EXCEPT WHERE THE FRONTAGE IS ADJACENT TO A RESIDENTIAL ZONE, IN WHICH CASE THE FRONT YARD SHALL BE THE SAME AS REQUIRED IN SUCH RESIDENTIAL ZONE

\*\*EXCEPT WHEN ADJACENT TO THE FRONT YARD OF A RESIDENTIALLY ZONED PROPERTY, IN WHICH CASE THE SETBACK SHALL BE THE SAME AS REQUIRED OF THE FRONT YARD OF THE ADJACENT RESIDENTIALLY ZONED PROPERTY.

\*\*\*SETBACK TO BE 5' MIN EXCEPT WHEN ADJUTING A RESIDENTAL ZONE, WHERE 15' MINIMUM IS REQUIRED.



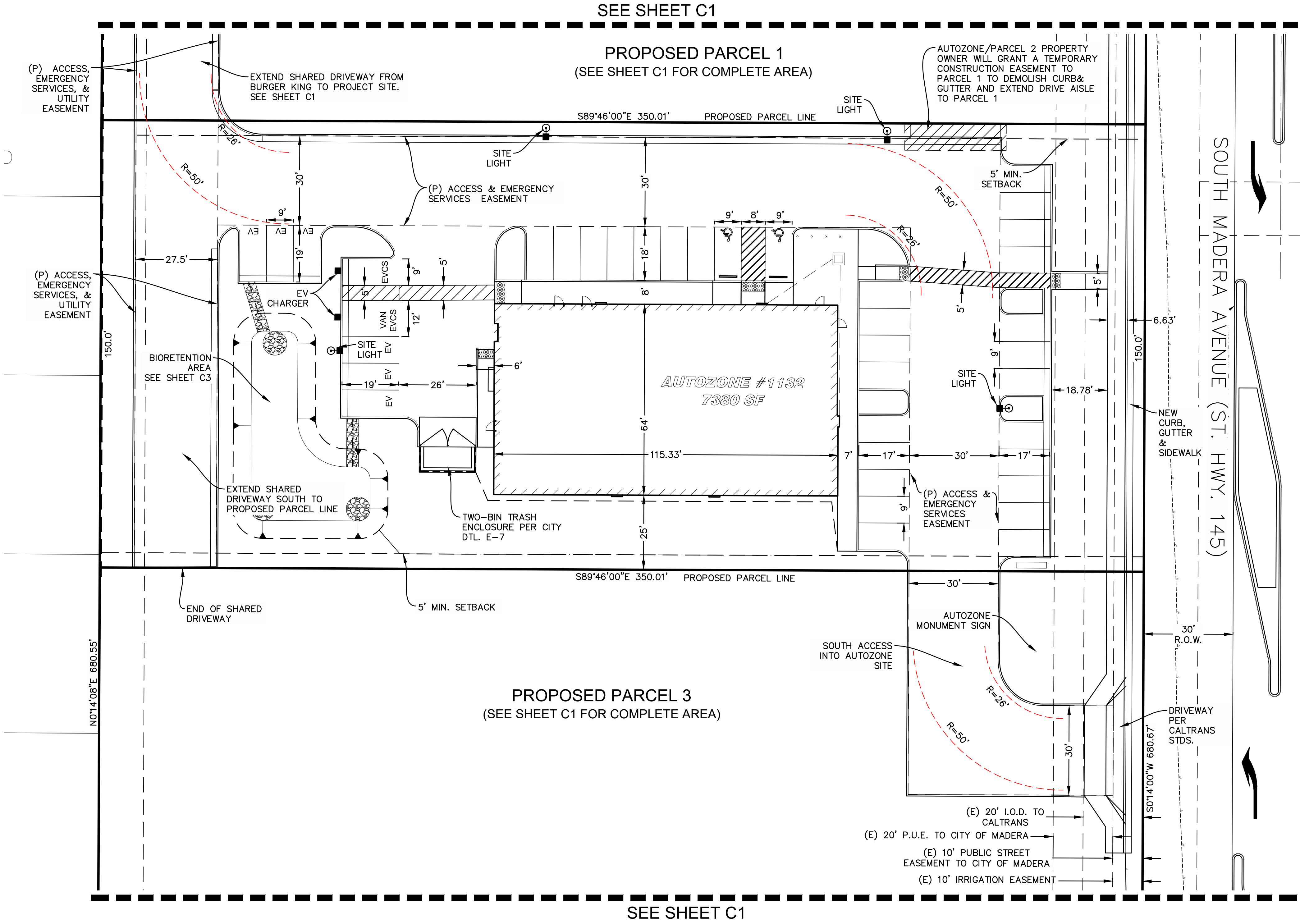
Know what's below.  
 Call before you dig.  
 or (800) 642-2444



**NOT FOR CONSTRUCTION**  
 AUTOZONE STORE NO. 1132  
 SOUTH MADERA AVE (HWY 145)  
 MADERA, CA  
 PRELIMINARY OVERALL PLAN  
 AUTOZONE PARTS, INC.  
 123 SOUTH FRONT ST.  
 MEMPHIS, TN 38103  
 CONTACT: KEVIN MURPHY  
 PHONE: 901-495-7625  
 SHEET  
**C1**  
 1 of 5  
 8/28/2024  
 CWE PROJECT R23037 - AUTOZONE STORE NO. 1132, SOUTH MADERA AVE (HWY 145), MADERA, CA

PRELIMINARY IMPROVEMENT PLANS FOR  
**AUTOZONE STORE #1132**  
 SOUTH MADERA AVE (HWY 145)  
 MADERA, CA 93637  
 APNs: 012-320-008-000

DESCRIPTION	LEGEND EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
GAS LINE	XX"G	XX"G
TELEPHONE MH	○	○
SDMH	○	○
DROP INLET	■	■
2'x3' DROP INLET	■	■
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
SSMH	○	○
SSCO	○	○
FIRE HYDRANT	○	○
PIV	○	○
FDC	○	○
WATER VALVE	○	○
WATER METER	○	○
CONCENTRIC REDUCER	○	○
REDUCED PRINCIPAL PRESSURE ASSEMBLY	○	○
REDUCED PRESSURE BACKFLOW PREVENTER	○	○
MONUMENT WELL	○	○
BOLLARD	○	○
GAS VALVE	○	○
UTILITY POLE	○	○
UTILITY POLE WITH LIGHT	○	○
STREET LIGHT	○	○
DOUBLE POST TOP STREET LIGHT	○	○
FENCE	X	X
INDEX CONTOUR	25	25
INTERMEDIATE CONTOURS	---	---
JUNCTION/PULL BOX	PB	PB
SIGN	■	■
GRADE BREAK LINE	GB	GB
TREE & DRIP	○	REMOVAL
PIPE CAP	○	○
ACCESSIBLE RAMP	---	---
CONTROL POINT	100 100.00 PK	100 100.00 PK
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)	13.61 AC MATCH (E)
TRUNCATED DOMES	---	---
BUILDING	---	---
DOOR	---	---
FIRE TURNING RADII	R=50	R=26



**ZONING:**  
 C-2, HEAVY COMMERCIAL

MINIMUM LOT AREA = 25,000 SF  
 MINIMUM LOT WIDTH = 150 SF  
 MINIMUM LOT DEPTH = 150 SF  
 MAXIMUM F.A.R.: 0.50  
 MAXIMUM BUILDING HEIGHT: 65'

FRONT SETBACK: 10' MIN\*  
 INTERIOR SIDE YARD SETBACK: 5' MIN  
 STREET SIDE YARD: 10' MIN\*\*  
 REAR YARD SETBACK: 15' MIN\*\*

**EXCEPTIONS:**  
 \*EXCEPT WHERE THE FRONTAGE IS ADJACENT TO A RESIDENTIAL ZONE, IN WHICH CASE THE FRONT YARD SHALL BE THE SAME AS REQUIRED IN SUCH RESIDENTIAL ZONE

\*\*EXCEPT WHEN ADJACENT TO THE FRONT YARD OF A RESIDENTIALLY ZONED PROPERTY, IN WHICH CASE THE SETBACK SHALL BE THE SAME AS REQUIRED OF THE FRONT YARD OF THE ADJACENT RESIDENTIALLY ZONED PROPERTY.

\*\*\*SETBACK TO BE 5' MIN, EXCEPT WHEN ABUTTING A RESIDENTIAL ZONE, WHERE 15' MINIMUM IS REQUIRED.

**LAND COVERAGE:**

LANDSCAPE AREA: 15,116 SF  
 HARDSCAPE/BLDG/PAVEMENT AREA: 39,641 SF  
 % LANDSCAPE: 28%

**FLOOR-TO-AREA**

TOTAL (P) BUILDING FOOTPRINT = 7,380 SF ±  
 AREA OF (P) PARCEL 2 = 52,502 SF ±  
 F.A.R. = 0.14

**BUILDING INFORMATION**

EXISTING  
 N/A

PROPOSED  
 7,380 SF FOOTPRINT  
 1-STORY  
 26'-6" TALL

**PARKING INFORMATION**

ITEM	REQUIREMENTS	PROVIDED
PARKING REQUIRED	1 SPACE PER 300 SQ. FT OF COMMERCIAL SPACE 7,380 / 300 = 25	37
MINIMUM PARKING DIMENSIONS	19'x9' STANDARD 16'x8' COMPACT	SEE PLAN
MINIMUM DRIVE AISLE WIDTH	26'	30'
ACCESSIBLE SPACES	2 SPACES	2 SPACES
EV CAPABLE SPACES	8	8
EV SPACE WITH CHARGER	2	2

PARKING STANDARDS PER CITY OF MADERA MUNICIPAL CODE AND 2022 CALIFORNIA BUILDING CODE, CHAPTER 11B AND 2022 CALIFORNIA GREEN CODE CHAPTER 5

TOTAL AREA DISTURBED: 1.70 ACRES

**PRELIMINARY RAW EARTHWORK SUMMARY**

CUT: 700 CY  
 FILL: 736 CY  
 NET: 36 CY (NET IMPORT)

NOTE:  
 EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

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 Know what's below.  
 Call before you dig.  
 or (800) 642-2444

**UTILITY REPRESENTATIVES**

UTILITY	COMPANY	CONTACT	PHONE
GAS	P.G. & E.	STEVE BARROW	559-675-2215
ELECTRIC	P.G. & E.	STEVE JONES	559-675-2258
TELEPHONE / INTERNET	COMCAST	JOHN BERTNER	559-455-4221
WATER	CITY OF MADERA IRRIGATION DISTRICT	ENGINEERING	559-673-3514
SEWER	CITY OF MADERA	KEITH HELMUTH	559-661-5418
DRAINAGE	CITY OF MADERA	KEITH HELMUTH	559-661-5418
FIRE	CONTRA COSTA FIRE DEPT.		925-941-3300

**NOT FOR CONSTRUCTION**

DESIGN: KSD  
 DRAWN: KSD  
 QUANT.: 0

CHECK: TSM  
 TSM

BY: [ ]  
 DATE: [ ]  
 REVISION: [ ]  
 APPROVED: [ ]

ORIGINAL SCALE IS IN INCHES 1" = 20'

**PROFESSIONAL ENGINEER**  
 No. C90888  
 PRELIMINARY  
 NOT FOR CONSTRUCTION  
 OF CALIFORNIA

**CWE**  
 2960 Douglas Blvd., Suite 100, Roseville, CA 95661  
 PH: 916-772-7722  
 www.cweexp.com

**AUTOZONE PARTS, INC.**  
 123 SOUTH FRONT ST.  
 MEMPHIS, TN 38103  
 CONTACT: KEVIN MURPHY  
 PHONE: 901-495-7625

**AUTOZONE STORE NO. 1132**  
 SOUTH MADERA AVE (HWY 145)  
 MADERA, CA

**PRELIMINARY SITE PLAN**

Sheet  
**C2**  
 2 of 5  
 8/28/2024

CWE PROJECT R23037 - AUTOZONE STORE NO. 1132, SOUTH MADERA AVE (HWY 145), MADERA, CA

SEE DETAIL 2 - SHEET C3.2

**PAVING LEGEND:**

- GRIND & OVERLAY
- HEAVY DUTY AC
- LIGHT DUTY AC
- HEAVY DUTY PCC
- LIGHT DUTY PCC
- PEDESTRIAN PCC
- LANDSCAPING
- BIORETENTION
- SURFACE FLOW DIRECTION
- OVERLAND RELEASE

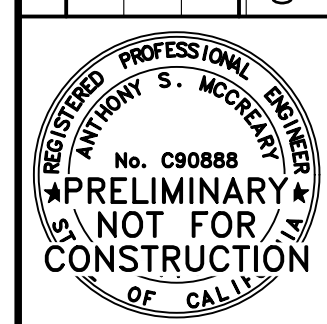
**STORM DRAIN KEYNOTES:**

- (D1) DRAIN BASIN
- (D2) BIORETENTION BASIN
- (D3) ROOF DOWNSPOUT

**GRADING CONSTRUCTION KEYNOTES**

- (1) ON-SITE BARRIER CURB
- (2) MONOLITHIC CURB AND SIDEWALK
- (3) 24-INCH CURB CUT WITH RIP RAP BEHIND
- (4) ACCESSIBLE RAMP
- (5) CONCRETE CURB AND GUTTER
- (6) COMMERCIAL DRIVEWAY WITH NEW CITY STANDARD CURB, GUTTER & SIDEWALK
- (7) MONUMENT SIGN
- (8) TRASH ENCLOSURE
- (9) CURB, GUTTER AND SIDEWALK PER CALTRANS STDS.

REVISION	NO.	DATE	BY	APPRVD



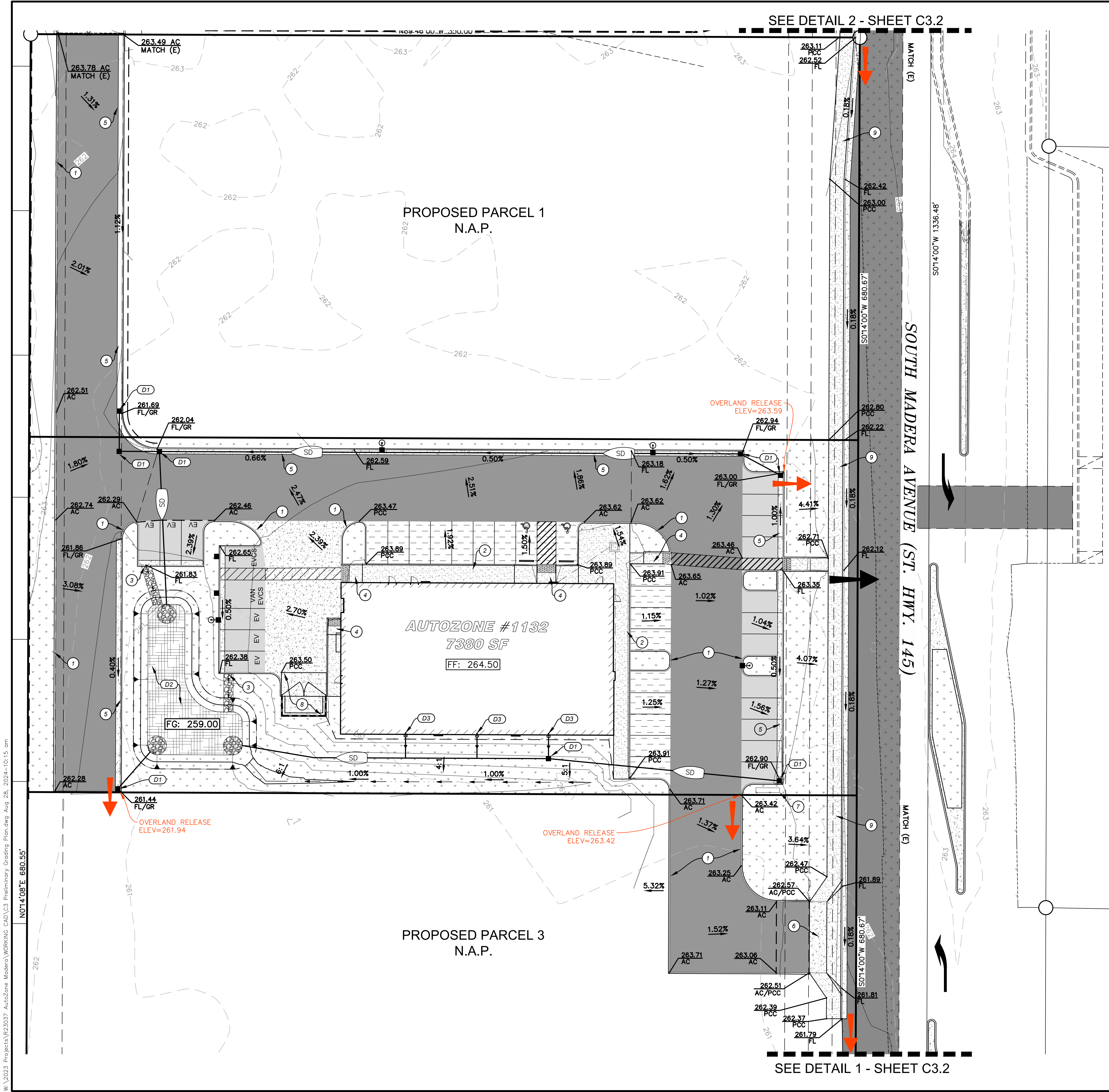
**CWE**  
 2860 Douglas Blvd., Suite 100, Roseville, CA 95661  
 PH: 916-772-7272  
 www.cweexp.com

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 CONTACT: KEVIN MURPHY  
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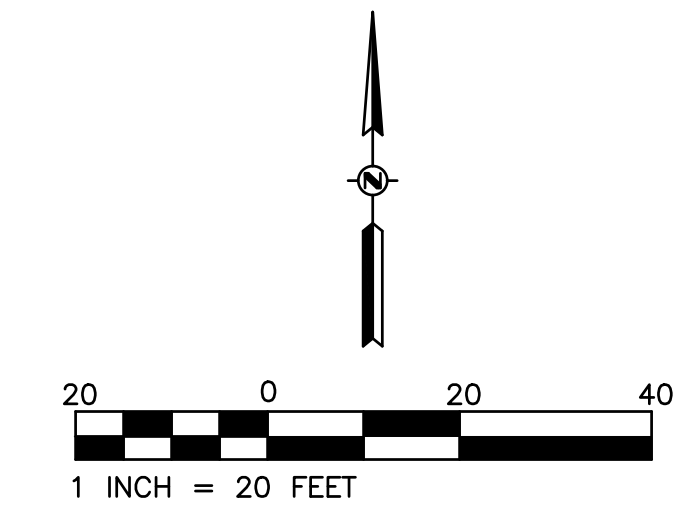
**AUTOZONE STORE NO. 1132**  
 SOUTH MADERA AVE (HWY 145)  
 MADERA, CA  
**PRELIMINARY GRADING,  
 DRAINAGE AND PAVING PLAN 1**

Sheet  
**C3.1**  
 3 of 5  
 8/28/2024

CWE PROJECT R23037 - AUTOZONE STORE NO. 1132, SOUTH MADERA AVE (HWY 145), MADERA, CA



SEE DETAIL 1 - SHEET C3.2

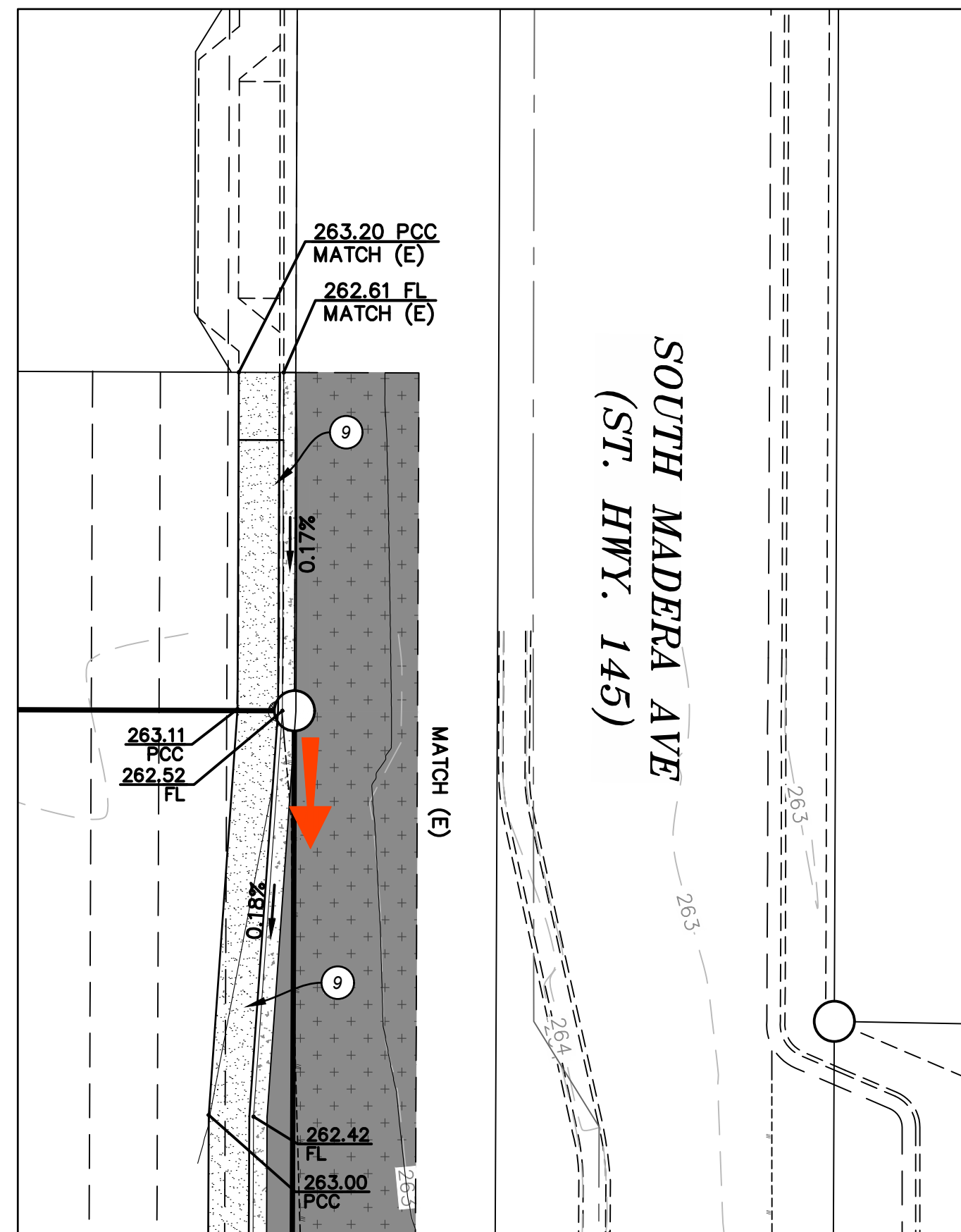


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W:\2023\Projects\123037\_Autozone\_Madera\WORKING CAD\C3 Preliminary Grading Paving Aug 28, 2024-10:15 am

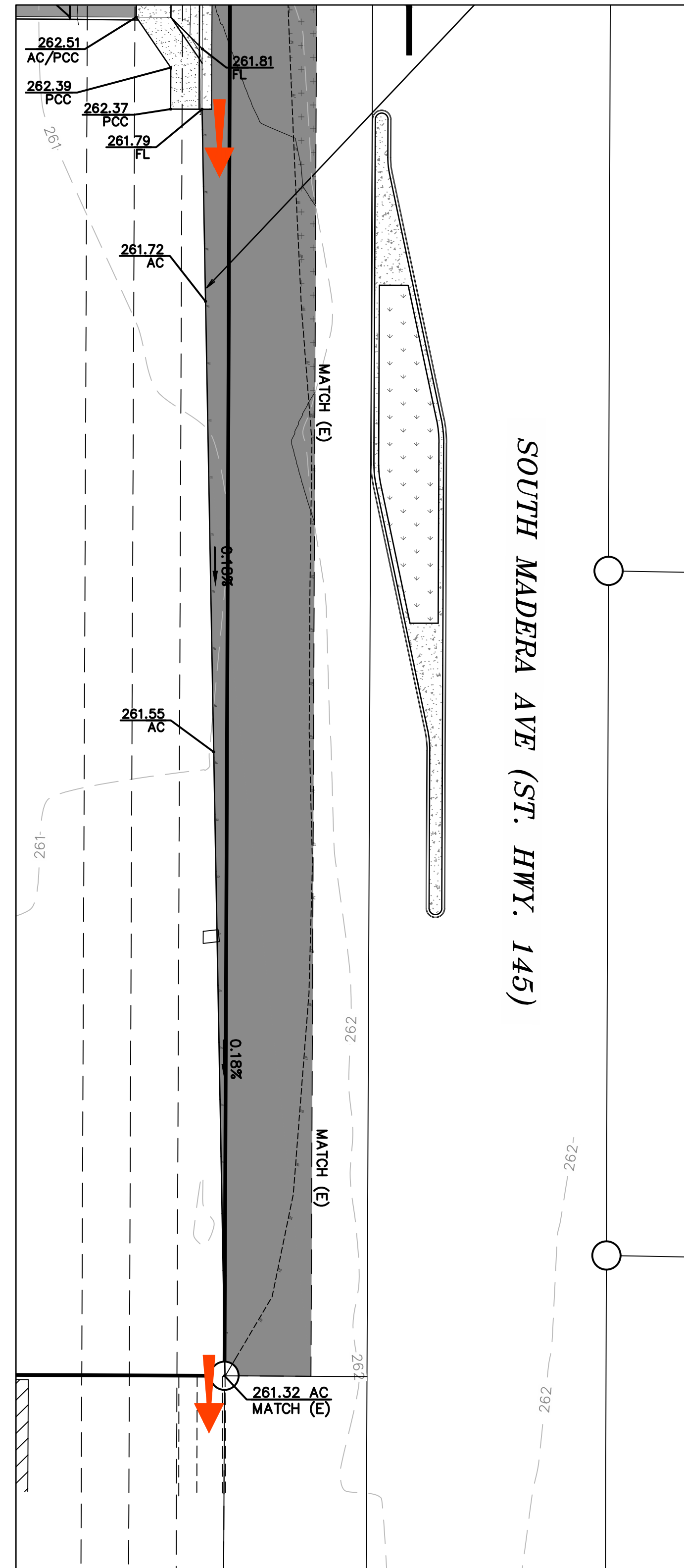
NOT FOR CONSTRUCTION

W:\2023 Projects\223037 Autozone Madera\WDRKING CAD\C3 Preliminary Grading Plan.dwg Aug 28, 2024-10:15 am



**DETAIL 2 - FRONTAGE (NORTH OF PROJECT)**

SCALE: 1" = 20'



**DETAIL 1 - FRONTAGE (SOUTH OF PROJECT)**

SCALE: 1" = 20'

**PAVING LEGEND:**

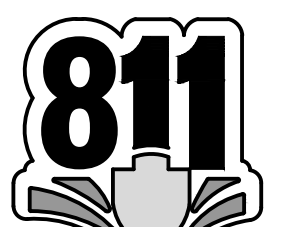
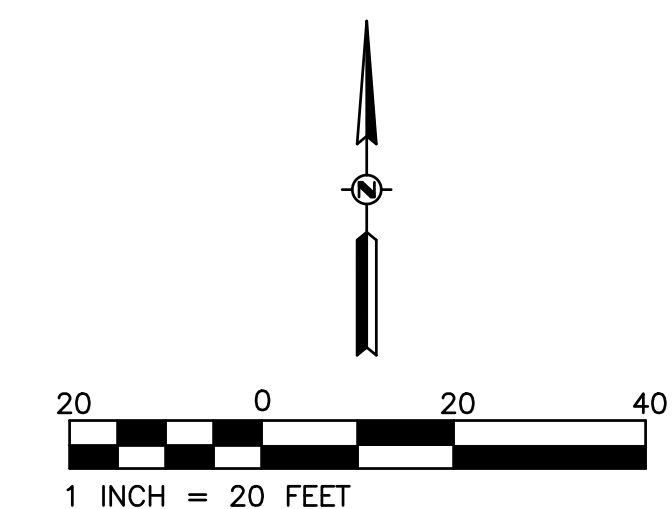
HEAVY DUTY AC		LANDSCAPING		SEE LANDSCAPE PLANS
LIGHT DUTY AC		BIORETENTION		SEE LANDSCAPE PLANS
HEAVY DUTY PCC		SURFACE FLOW DIRECTION		
LIGHT DUTY PCC		OVERLAND RELEASE		
PEDESTRIAN PCC				

**STORM DRAIN KEYNOTES:**

- (D1) DRAIN BASIN
- (D2) BIORETENTION BASIN
- (D3) ROOF DOWNSPOUT

**GRADING CONSTRUCTION KEYNOTES**

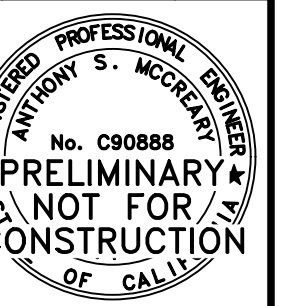
- (1) ON-SITE BARRIER CURB
- (2) MONOLITHIC CURB AND SIDEWALK
- (3) 24-INCH CURB CUT WITH RIP RAP BEHIND
- (4) ACCESSIBLE RAMP
- (5) CONCRETE CURB AND GUTTER
- (6) COMMERCIAL DRIVEWAY WITH NEW CITY STANDARD CURB, GUTTER & SIDEWALK
- (7) MONUMENT SIGN
- (8) TRASH ENCLOSURE
- (9) CURB, GUTTER AND SIDEWALK PER CALTRANS STDS.



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**AUTOZONE STORE NO. 1132**  
**SOUTH MADERA AVE (HWY 145)**  
**MADERA, CA**  
**PRELIMINARY GRADING,**  
**DRAINAGE AND PAVING PLAN 2**

**AUTOZONE PARTS, INC.**  
123 SOUTH FRONT ST.  
MEMPHIS, TN 38103  
CONTACT: KEVIN MURPHY  
PHONE: 901-495-7625



DESIGN	DRAWN	QUANT.	CHECK	NO.	REVISION	DATE	BY	APPRVD
			KSD	TSM				
			KSD	TSM				

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0 ORIGINAL SCALE IS IN INCHES  
1  
2

Sheet  
**C3.2**  
4 of 5  
8/28/2024

CWE PROJECT R23037 - AUTOZONE STORE NO. 1132, SOUTH MADERA AVE (HWY 145), MADERA, CA

W:\2023 Projects\223037 Autozone Madera\WORKING CAD\C4 Preliminary Water and Sewer Plan.dwg Aug 28, 2024-10:15 am

**LEGEND:**

REPLACE EXISTING MID 36" CIP W/ NEW 36" RCP



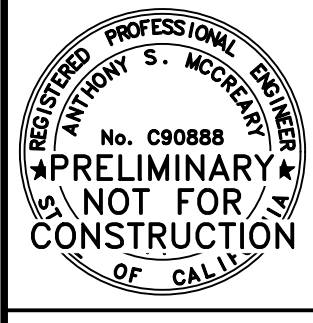
**WATER CONSTRUCTION KEYNOTES:**

- ◊ W1 WATER SERVICE FOR PUBLIC FIRE HYDRANT
- ◊ W2 WATER SERVICE FOR PRIVATE FIRE SPRINKLERS AND HYDRANT
- ◊ W3 DOMESTIC WATER SERVICE TAP
- ◊ W4 IRRIGATION WATER SERVICE TAP
- ◊ W5 PUBLIC FIRE HYDRANT
- ◊ W6 FIRE DCDA, PIV, AND FDC
- ◊ W7 DOMESTIC WATER METER AND BP
- ◊ W8 IRRIGATION WATER METER AND BP
- ◊ W9 IRRIGATION SERVICE STUB. SEE LANDSCAPE PLANS FOR CONTINUATION.
- ◊ W10 PRIVATE FIRE HYDRANT
- ◊ W11 DOMESTIC WATER POINT OF CONNECTION TO BUILDING
- ◊ W12 FIRE SPRINKLER BUILDING RISER POINT OF CONNECTION
- ◊ W13 REMOVE EXISTING CONCRETE JUNCTION BOX & INSTALL NEW PRESSURE MANHOLE
- ◊ W14 REMOVE EXISTING MID CATCH BASIN

**SANITARY SEWER CONSTRUCTION KEYNOTES:**

- ◊ S1 CONNECT TO EXISTING SANITARY WITH NEW 6" SEWER SERVICE.
- ◊ S2 SEWER CLEANOUT
- ◊ S3 WYE FITTING
- ◊ S4 SANITARY SEWER POINT OF CONNECTION TO BUILDING
- ◊ S5 END OF NEW SEWER IMPROVEMENT. INSTALL SEWER CLEANOUT.

BY	DATE	REVISION	CHECK NO.
KSD			TSM
KSD			TSM
QUANT.			
0			



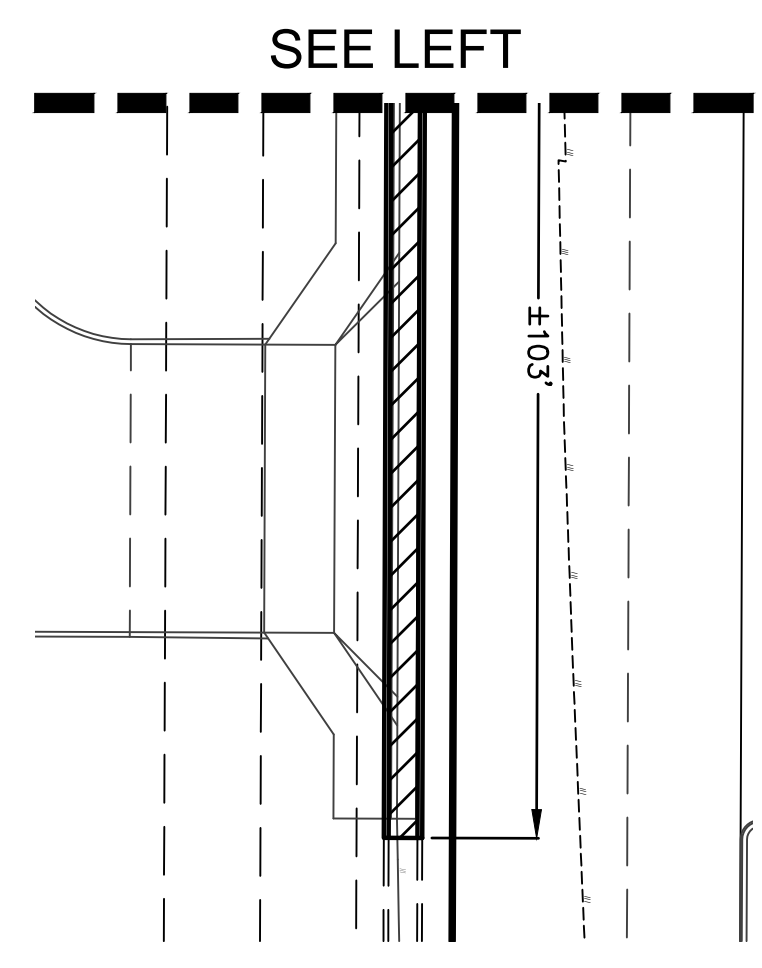
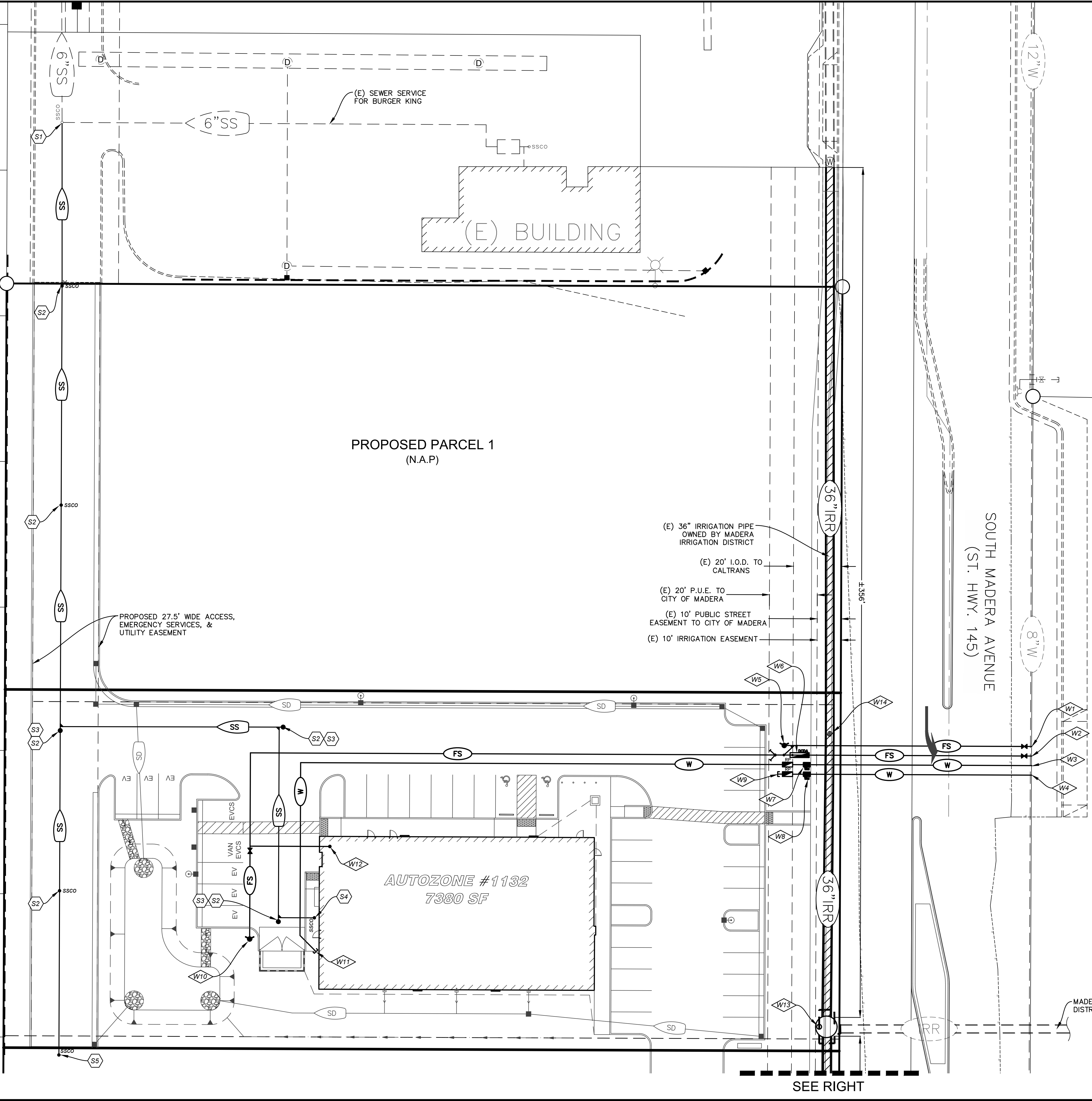
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2960 Douglas Blvd., Suite 100, Roseville, CA 95661  
PH: 916-772-7777 www.cwecorp.com

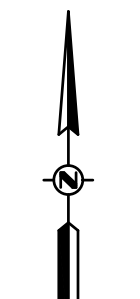
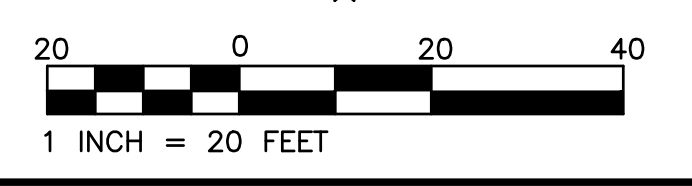
**AUTOZONE PARTS, INC.**  
123 SOUTH FRONT ST.  
MEMPHIS, TN 38103  
CONTACT: KEVIN MURPHY  
PHONE: 901-495-7625

**AUTOZONE STORE NO. 1132**  
**SOUTH MADERA AVE (HWY 145)**  
**MADERA, CA**  
**PRELIMINARY WATER AND**  
**SANITARY SEWER PLAN**

Sheet  
**C4**  
5 of 5  
8/28/2024



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CWE PROJECT R23037 - AUTOZONE STORE NO. 1132, SOUTH MADERA AVE (HWY 145), MADERA, CA



# AUTOZONE STORE #1132

SOUTH MADERA AVE (HWY 145) MADERA, CA

PLANT LEGEND					
SYM	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE*	REMARKS
<b>TREES</b>					
	CERCIS MEXICANA/ EASTERN REDBUD	15 GAL	5	LOW	STANDARD
	OLEA EUROPAEA 'SWAN HILL'/ FRUITLESS OLIVE	15 GAL	9	V. LOW	MULTI
	PISTACIA CHINENSIS 'KEITH DAVEY'/ CHINESE PISTACHE	15 GAL	8	LOW	STANDARD
<b>SHRUBS</b>					
	ACACIA REDOLENS 'LOW BOY'/ PROSTRATE ACACIA	1 GAL	--	LOW	
	DIETES VEGETA/ FORTNIGHT LILY	1 GAL	--	LOW	
	CISTUS LADANIFER/CRIMSON SPOT ROCKROSE	1 GAL	--	LOW	
	LAVANDULA ANGUSTIFOLIA/ ENGLISH LAVENDER	1 GAL	--	LOW	
	NERIUM OLEANDER 'LITTLE RED'/ DWARF RED OLEANDER	5 GAL	--	LOW	
	TULBAGHIA VIOLACEA/ SOCIETY GARLIC	1 GAL	--	LOW	

## PRELIMINARY LANDSCAPE NOTES

- PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
- FINAL PLANTING AND IRRIGATION DESIGN PLANS SHALL BE PROVIDED DURING THE PERMIT PHASE OF DESIGN.
- ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY.
- NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIPLINE OF AN EXISTING TREE.
- ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
- ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN ANY PLANTING AREAS THAT ARE LESS THAN 10' WIDE.
- ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
- A SOILS TEST SHALL BE PROVIDED DURING CONSTRUCTION (AFTER GRADING OPERATIONS ARE CONCLUDED) TO DETERMINE SOIL FERTILITY AND ACTUAL SOIL AMENDMENTS TO BE ADDED DURING PLANTING.
- NO TURF IS PROPOSED.
- NATURAL SLOPES ON SITE DO NOT EXCEED 5' IN ELEVATION.

## PRELIMINARY WATER USE CALCULATIONS

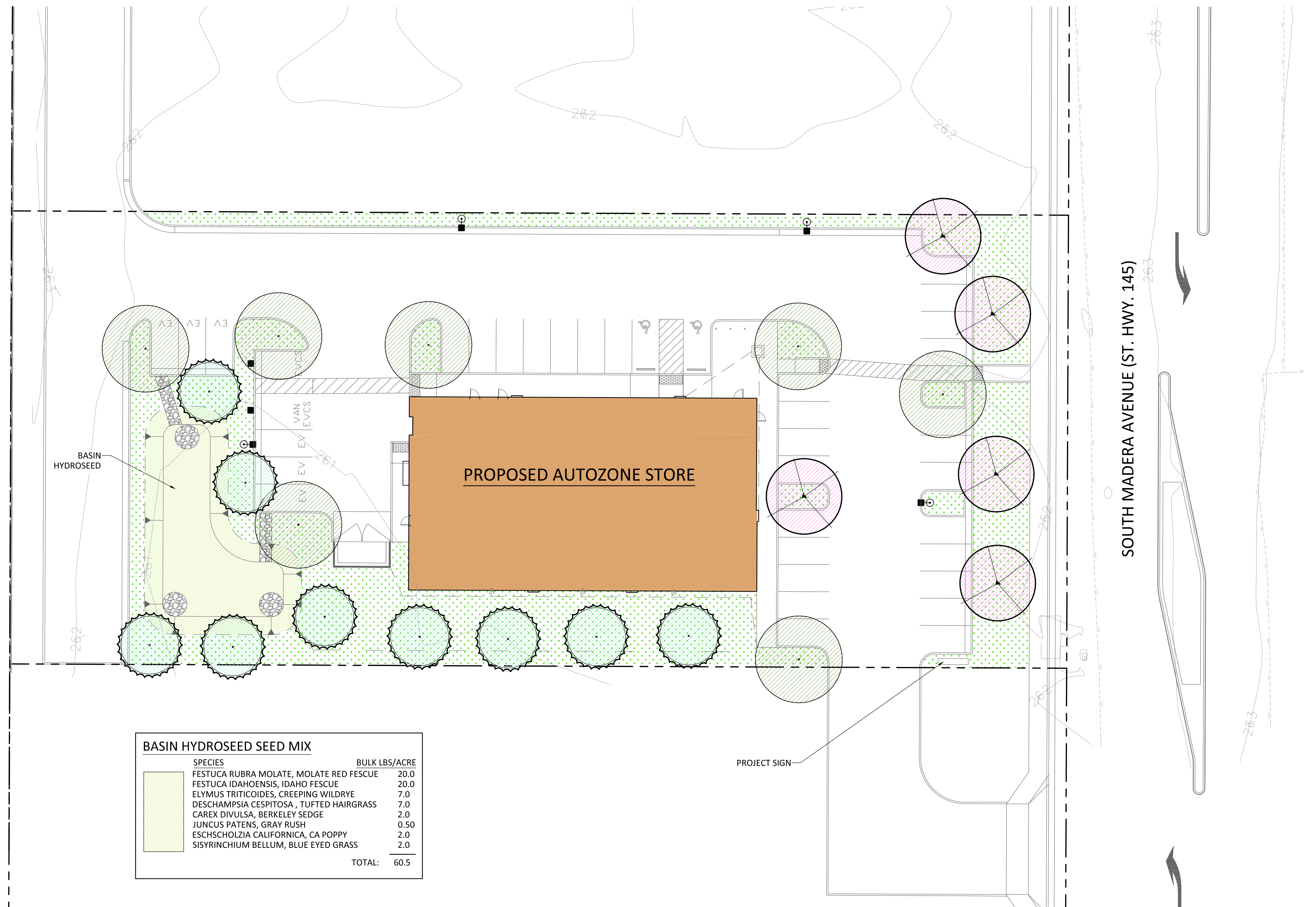
### WATER EFFICIENT LANDSCAPE WORKSHEET

Project: **Autozone Store 1132**  
Madera, California

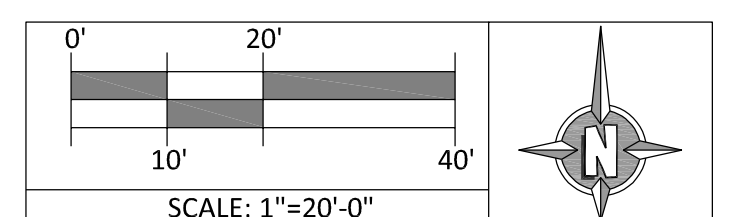
Maximum Applied Water Allowance (MAWA)  
Area 15,835 ETAF: 0.45 Project Type: Commercial  
ETo 51.5 Station: St Helena SLA: 0

MAWA = (ETo) (0.62) [(ETAF x LA) + [(1-ETAF) x SLA]]  
227,525 Gallons Per Year

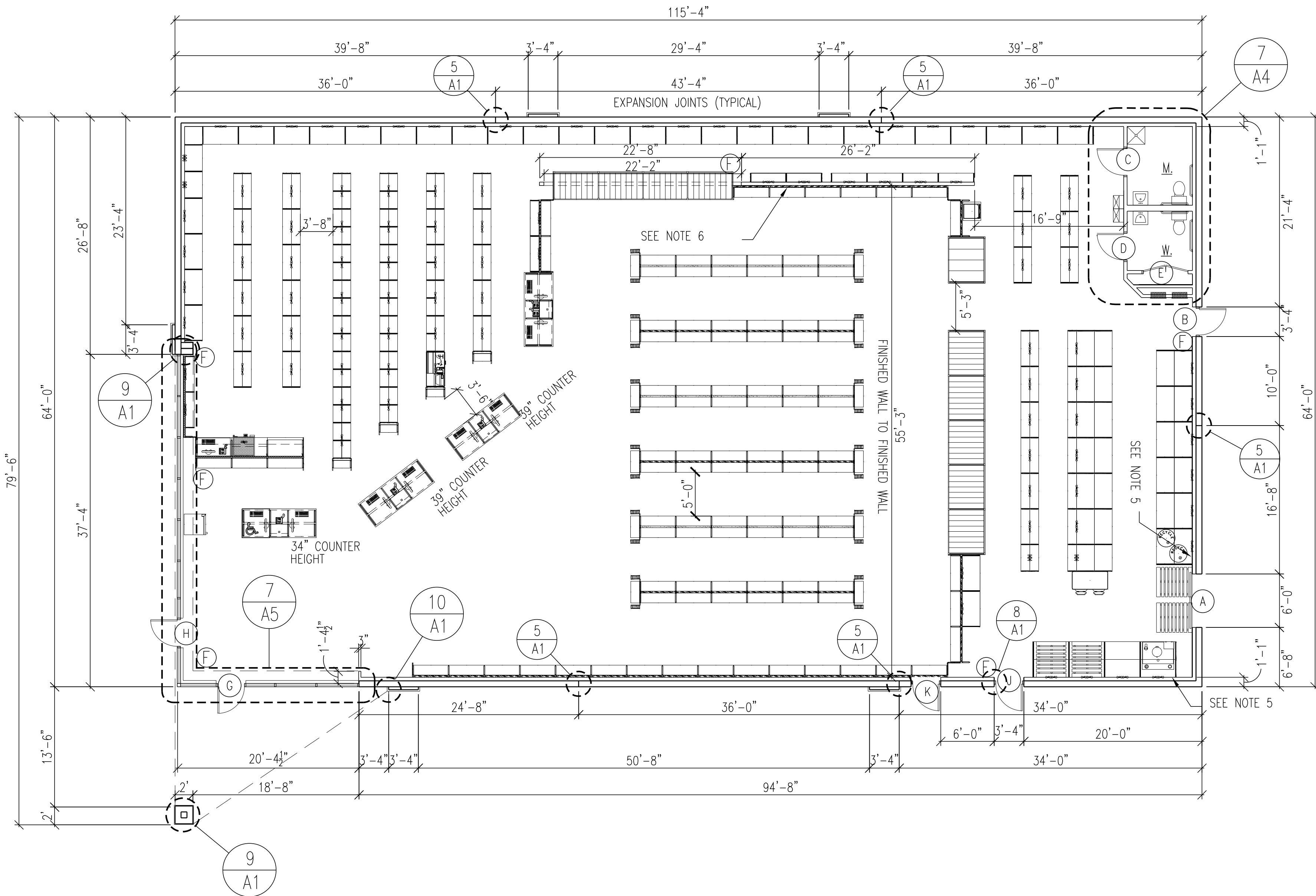
Hydrozone/ Planting Description	Plant Water Use	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF (PF/IE)	Hydrozone Area (HA) (square feet)	ETAF X Area	Estimated Total Water Use	
<b>Regular Landscape Areas</b>									
Trees	Low	0.2	Bub	0.75	0.27	975	260	8,302	
Trees	V. Low	0.1	Bub	0.75	0.13	675	90	2,874	
Shrubs	Low	0.2	Drip	0.81	0.25	11,714	2,892	92,353	
Temp (basin)	V. Low	0.1	Spray	0.75	0.13	2,471	329	10,520	
						<b>Area Total</b>	<b>15,835</b>	<b>3,572</b>	
<b>Special Landscape Areas</b>									
1					1	0	0	0	
2					1	0	0	0	
						<b>Area Total</b>	<b>0</b>	<b>0</b>	
								<b>ETWU Total</b>	<b>114,048</b>
								<b>MAWA</b>	<b>227,525</b>



BASIN HYDROSEED SEED MIX		
SPECIES	BULK LBS/ACRE	
FESTUCA RUBRA MOLATE, MOLATE RED FESCUE	20.0	
FESTUCA IDAHOENSIS, IDAHO FESCUE	20.0	
ELYMUS TRITICOIDES, CREEPING WILDRIE	7.0	
DESCHAMPSIA CESPITOSA, TUFTED HAIRGRASS	7.0	
CAREX DIVULSA, BERKELEY SEDGE	2.0	
JUNCUS PATENS, GRAY RUSH	0.50	
ESCHSCHOLZIA CALIFORNICA, CA POPPY	2.0	
SISYRINCHIUM BELLUM, BLUE EYED GRASS	2.0	
		<b>TOTAL: 60.5</b>



C:\MSLA\Projects\2024\121524\_AZ\_Madera\Exhibits\Preliminary\EPH\_121524\_AZ\_Madera\_Landscape\_Prelim.dwg Aug 29, 2024 04:38 pm



NOTE: (F) = NEW DRY CHEMICAL FIRE EXTINGUISHER. GENERAL CONTRACTOR TO INSTALL ONE KIDDE 10 lb #46620420 AT BATTERY CHARGING AND KIDDE 5 lb #FC-340M-VB AT ALL OTHER LOCATIONS. INSTALL EITHER ON WALL SURFACE, FIXTURE UPRIGHT OR ALUMINUM MULLION. MOUNTING HEIGHT = 3'-6" ABOVE FINISHED FLOOR TO TOP OF EXTINGUISHER.

1/8" = 1'-0"  
FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" ABOVE FINISHED FLOOR. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" x 4'-0" x 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE METAL STUDS WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. PROVIDE "J" MOLD WHERE PLYWOOD AND GYPSUM BOARD MEET. SEE INTERIOR ELEVATIONS SEE 3/A4 DETAIL.
- INSTALL TWO 4' x 8' SHEETS OF BLACK FRP VERTICALLY BEHIND BATTERY RACK. SEE SECTION 09986 OF THE SPECIFICATIONS AND INTERIOR ELEVATIONS ON SHEET A-4.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

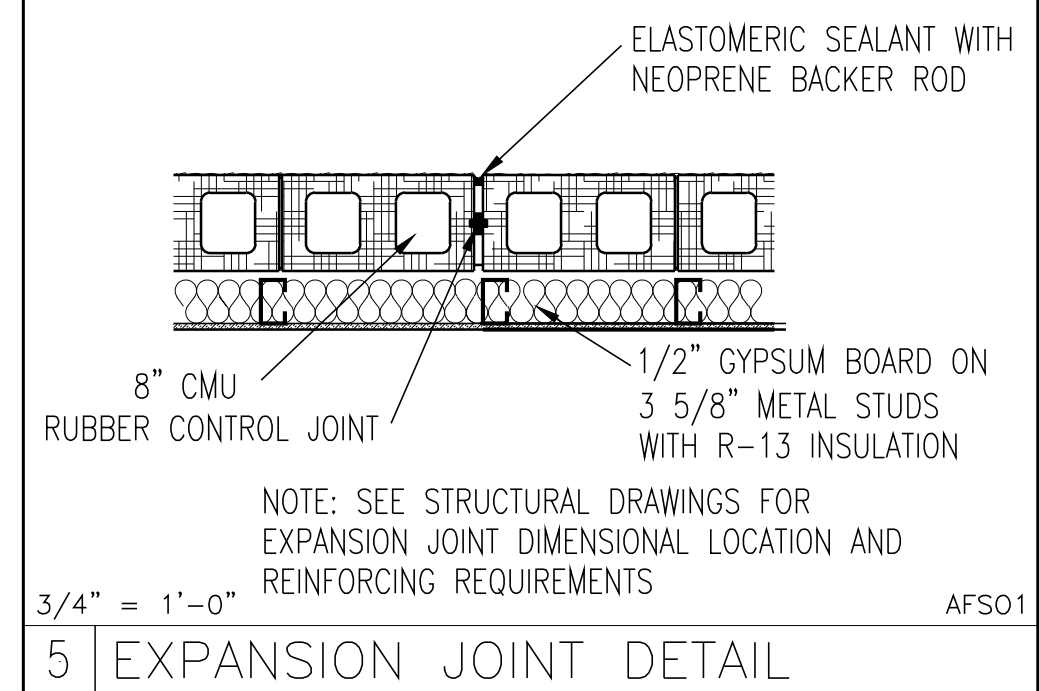
1/8" = 1'-0"  
2 FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.
	SEALED CONCRETE	VINYL TILE	VINYL	QUARRY TILE	GYPSUM BOARD
			FIBER REINFORCED PANELS	METAL DECK	GYPSUM BOARD
SALES AREA					
REST ROOMS					

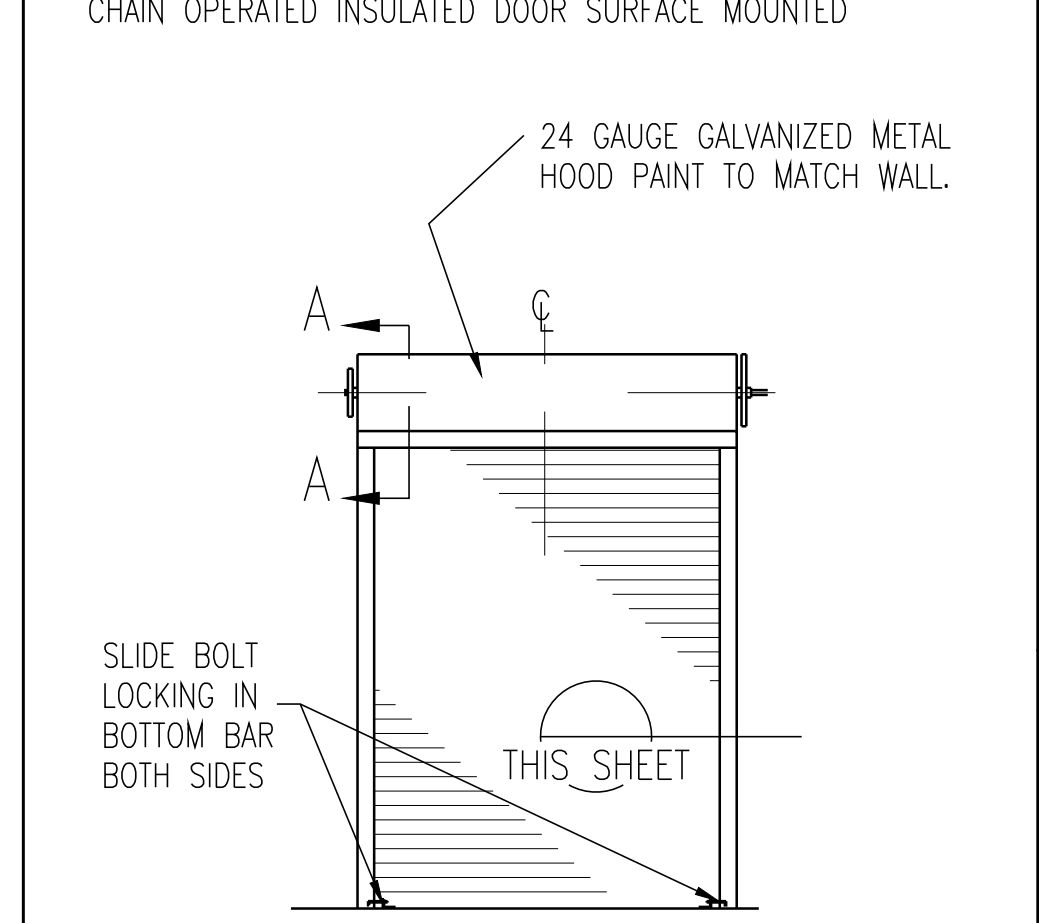
3/16" = 1'-0"  
3 ROOM FINISH SCHEDULE

MK	SIZE	TYPE	FRAME	JAMB DETAIL	HEAD DETAIL	ADA / EXIT HARDWARE	SEE SECTION 08700 OF THE SPECIFICATIONS
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	6;7&8/A1	6&7/A1		
B	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE WILL HAVE AN INTEGRAL SOUNDER	
C	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS	
D	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS	
E	2'-6" x 6'-8" x 1-3/4"	SOLID CORE WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)	
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM	ALUMINUM	SEE MANUFACTURER'S SHOP DRAWINGS	SEE MANUFACTURER'S SHOP DRAWINGS		
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM	ALUMINUM	SEE MANUFACTURER'S SHOP DRAWINGS	SEE MANUFACTURER'S SHOP DRAWINGS		
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE	
K	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE	

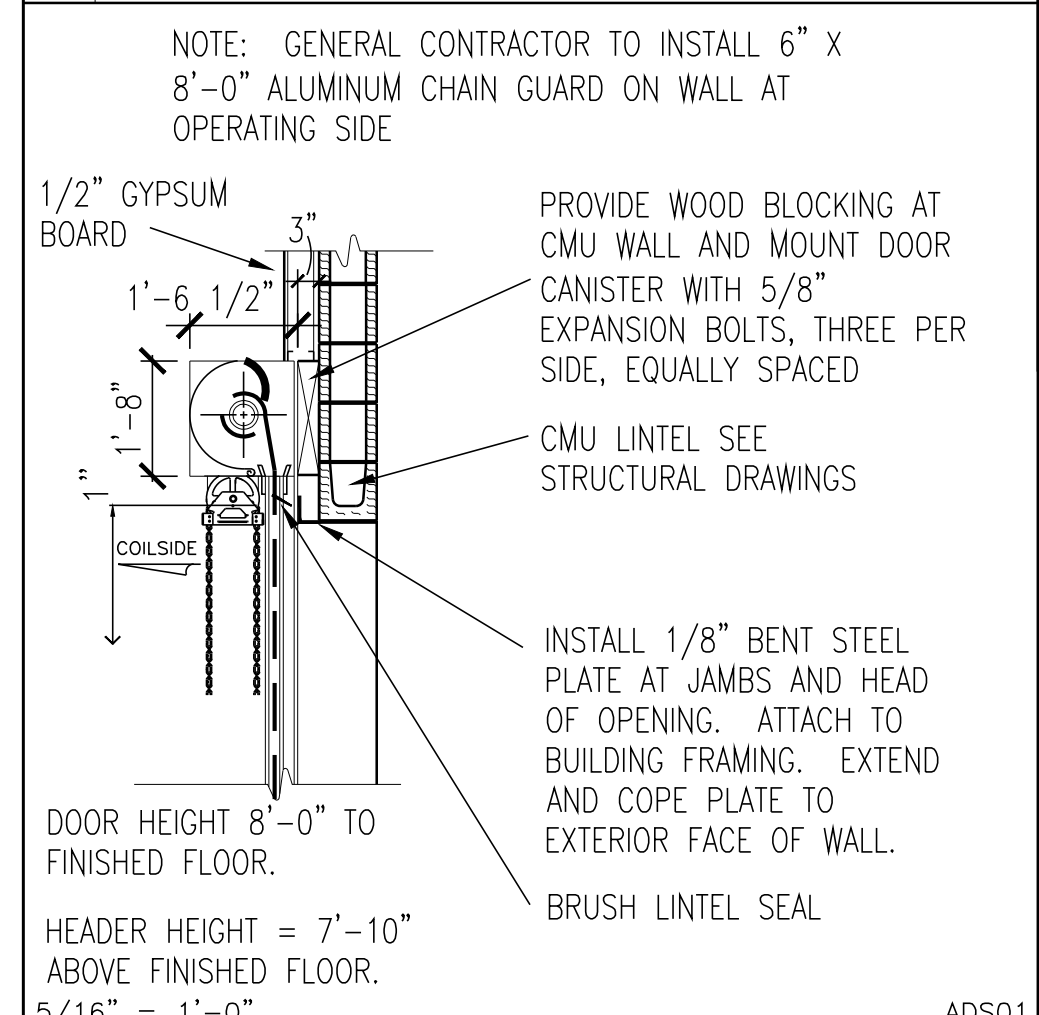
3/32" = 1'-0"  
4 DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES



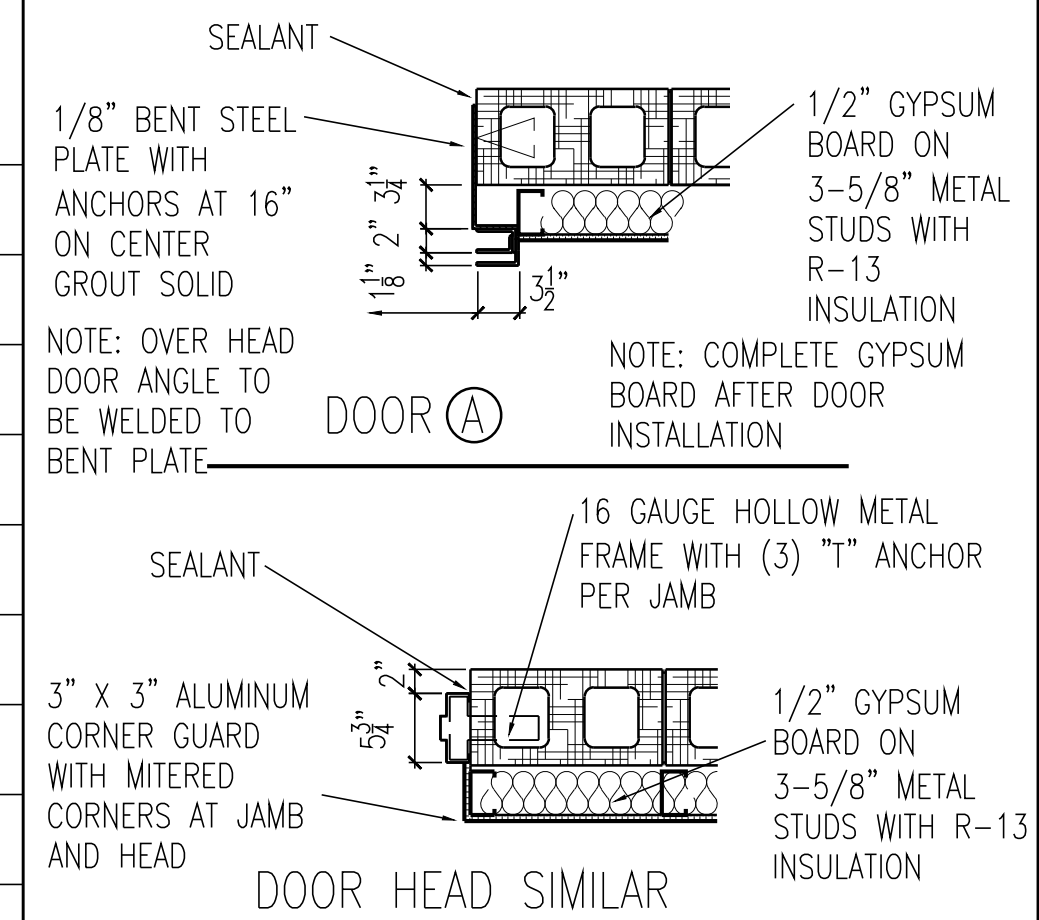
3/4" = 1'-0"  
5 EXPANSION JOINT DETAIL



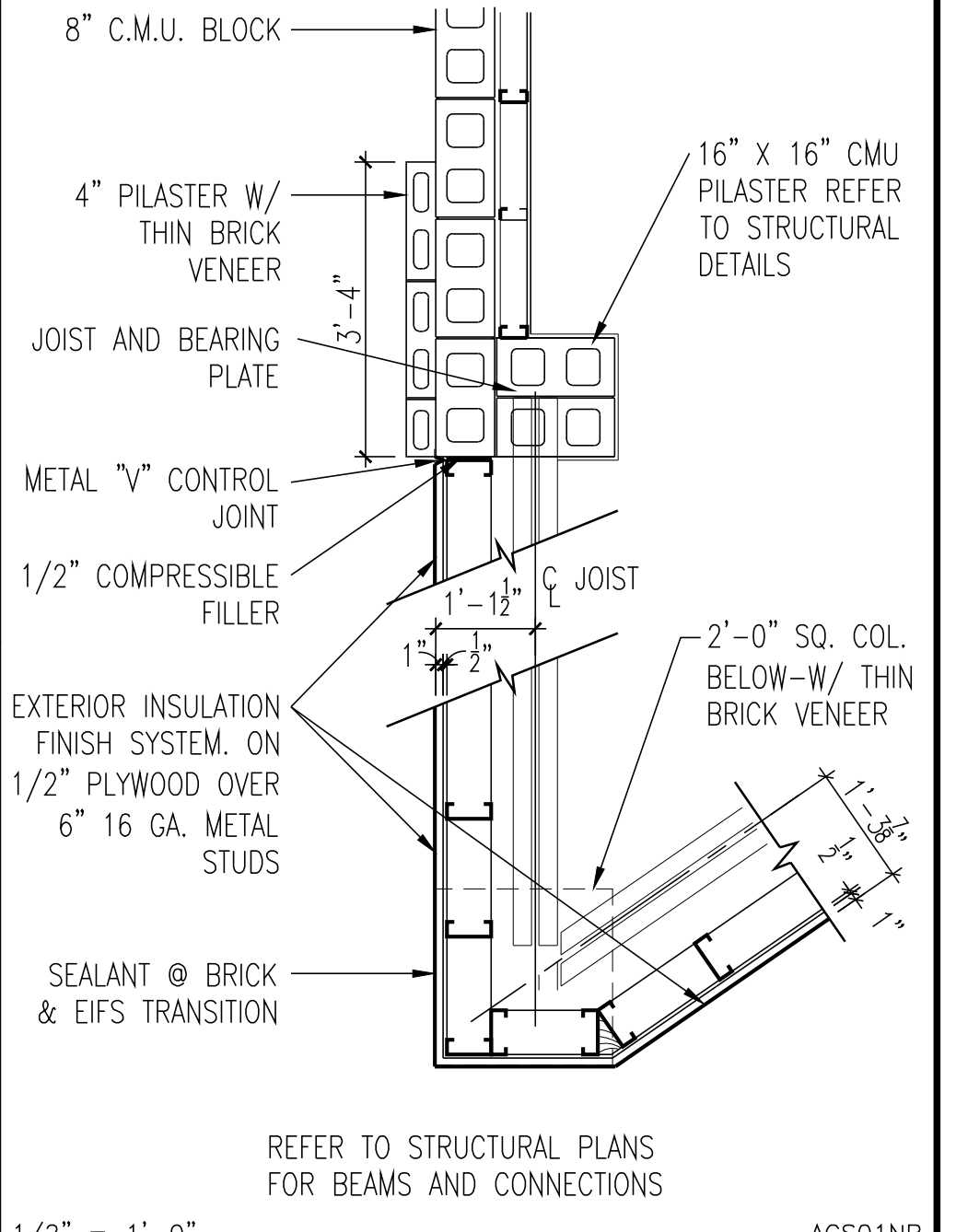
6 OVERHEAD DOOR ELEVATION



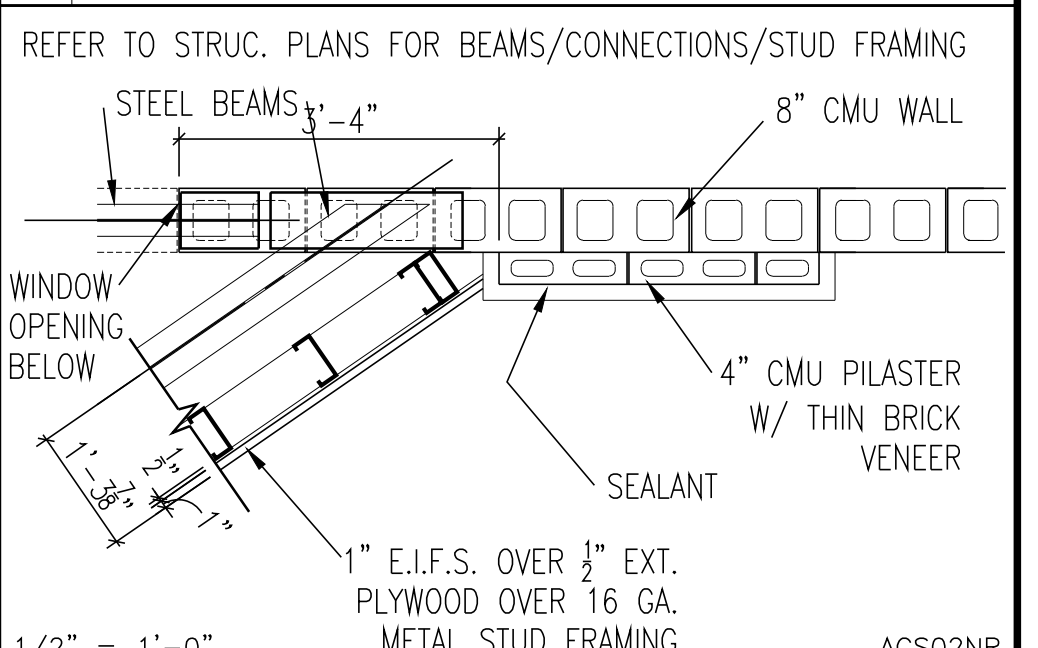
5/16" = 1'-0"  
7 OVERHEAD DELIVERY DOOR (A)



3/4" = 1'-0"  
8 JAMB DETAILS



1/2" = 1'-0"  
9 SECTION AT CANOPY



1/2" = 1'-0"  
10 SECTION AT CANOPY

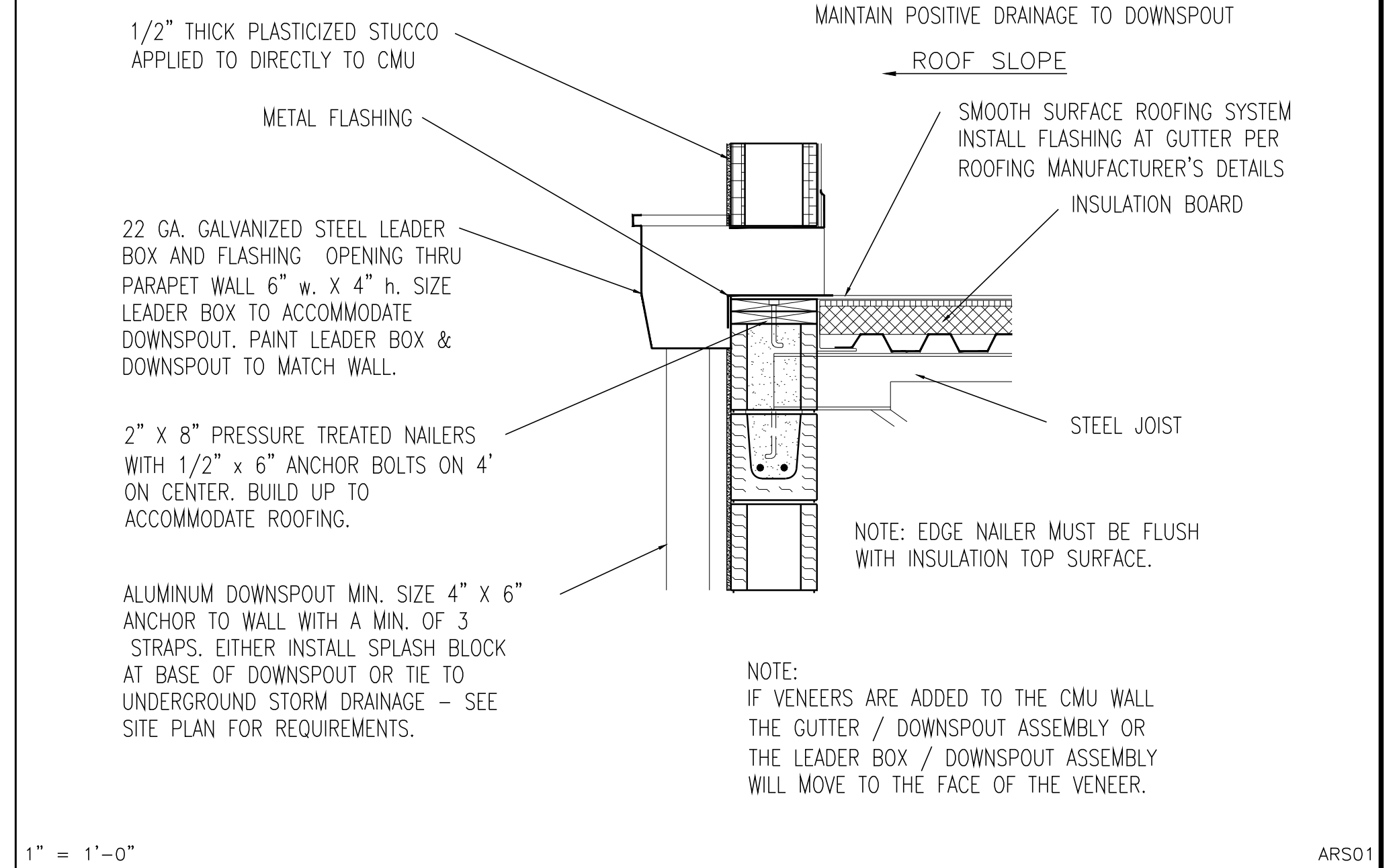
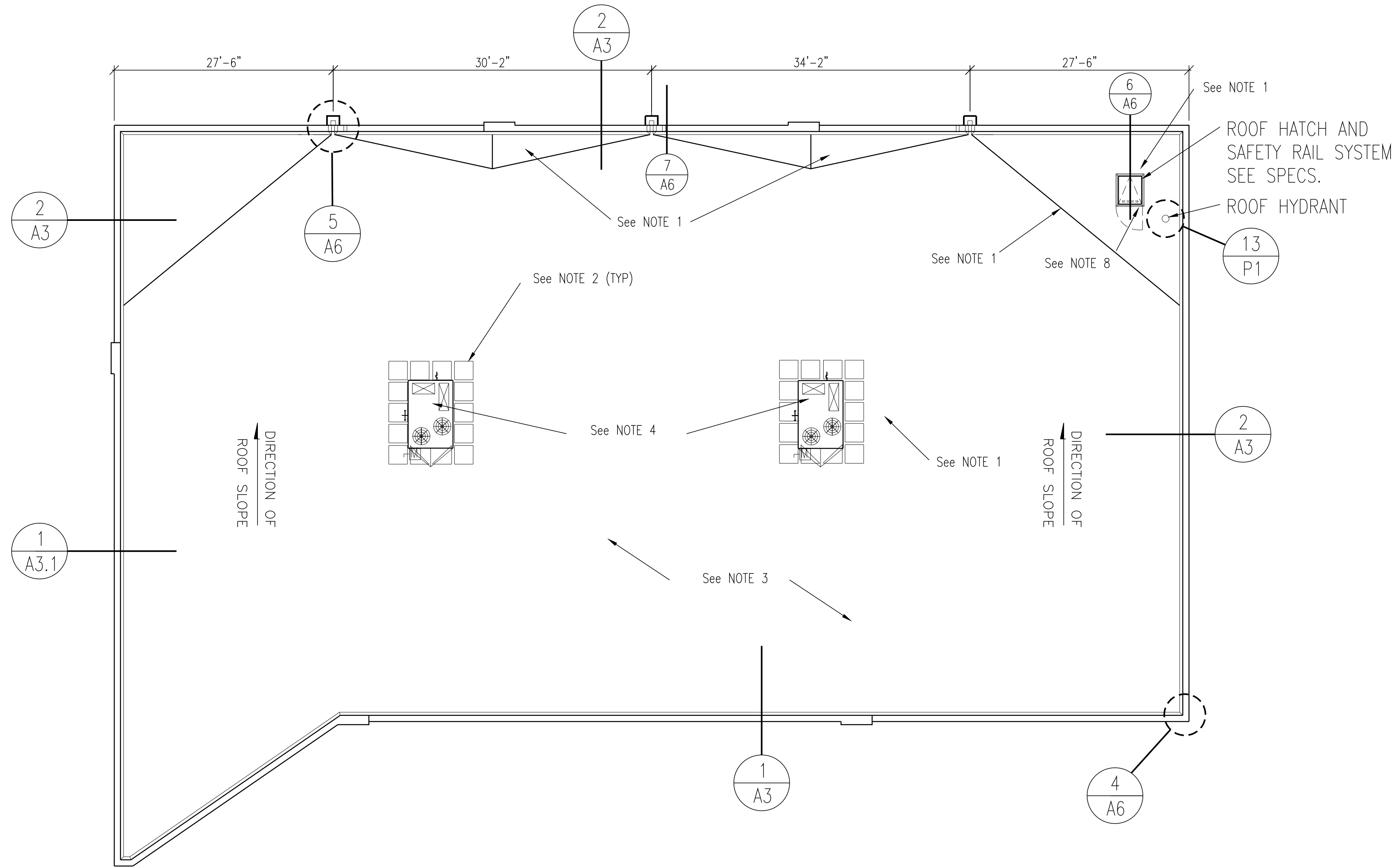
REVISIONS	1	2	3	4	5	6

AutoZone Store No. 1132  
SOUTH MADERA AVE (HWY 145)  
MADERA CA 93637

Architect: Phil Record  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: 901-495-6500 FAX: (901) 495-8969

For Bidding & Contractor Information Contact:  
Dodge Data & Analytics, Tel. 1-844-326-3826 ext 9429  
Cindy.searcy@construction.com

4/16/24  
7N2-L



7 ROOF EDGE DETAIL AT LOW SIDE

REVISIONS	
1	
2	
3	
4	
5	
6	

1/8" = 1'-0"  
ROOF PLAN

1. ALL CRICKETS TO BE 3" HIGH AT THE CENTER AND LOCATED AT THE HIGH SIDE OF ANY ROOF OPENING. SLOPE DOWNWARD TO EDGE OF ROOF OPENINGS OR DRAINS.

2. ALL ROOF WALKPADS (24" X 24") ARE TO BE WITHIN 2" OF THE VERTICAL FACES OF THE ROOFTOP UNIT. SPACING BETWEEN THE PADS IS TO BE 6".

3. REFER TO SPECIFICATIONS FOR SMOOTH SURFACE ROOFING SYSTEM, PROVIDE CONTINUOUS 4" FIBER CANT STRIP AT VERTICAL INTERSECTIONS IF REQUIRED BY ROOFING SYSTEM.

4. REFER TO STRUCTURAL DRAWINGS FOR ROOF FRAMING PLAN TO DETERMINE LOCATION OF ROOF TOP UNITS (RTU).

5. HVAC ROOF CURBS SHALL BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL FLASHING.

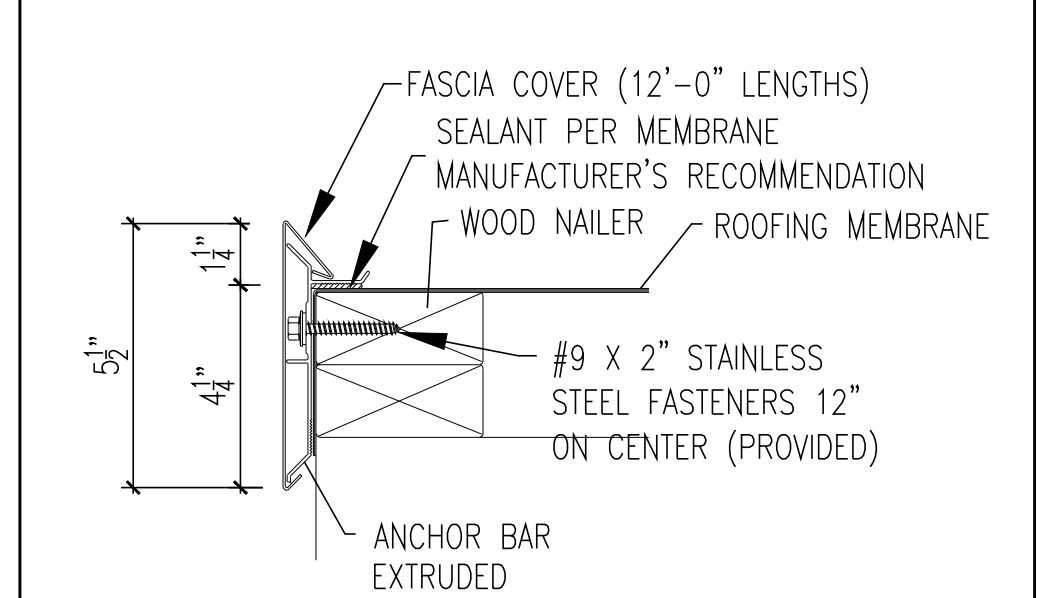
6. INTERNAL ROOF DRAINS OR GALVANIZED LEADER BOX WITH DOWNSPOUT AND ADJACENT OVERFLOW OPENING THRU WALL. SEE PLAN AND BUILDING EXTERIOR ELEVATIONS. SEE DETAIL 3 THIS SHEET FOR ROOF DRAIN AND PIPING DESIGN AND REQUIREMENTS. LEADER BOX AND OVERFLOW OPENINGS SHALL BE 6" WIDE AND 4" HIGH AND OVERFLOW OPENINGS SHALL BE LOCATED SO THAT THE BOTTOM OF THE OPENING IS 2" ABOVE THE ROOF SURFACE.

7. CONNECT DOWNSPOUTS OR ROOF DRAIN LEADERS TO UNDERGROUND DRAINAGE SYSTEM OR IF NONE AVAILABLE, PROVIDE SPLASH BLOCKS WITH POSITIVE DRAINAGE AWAY FROM BUILDING.

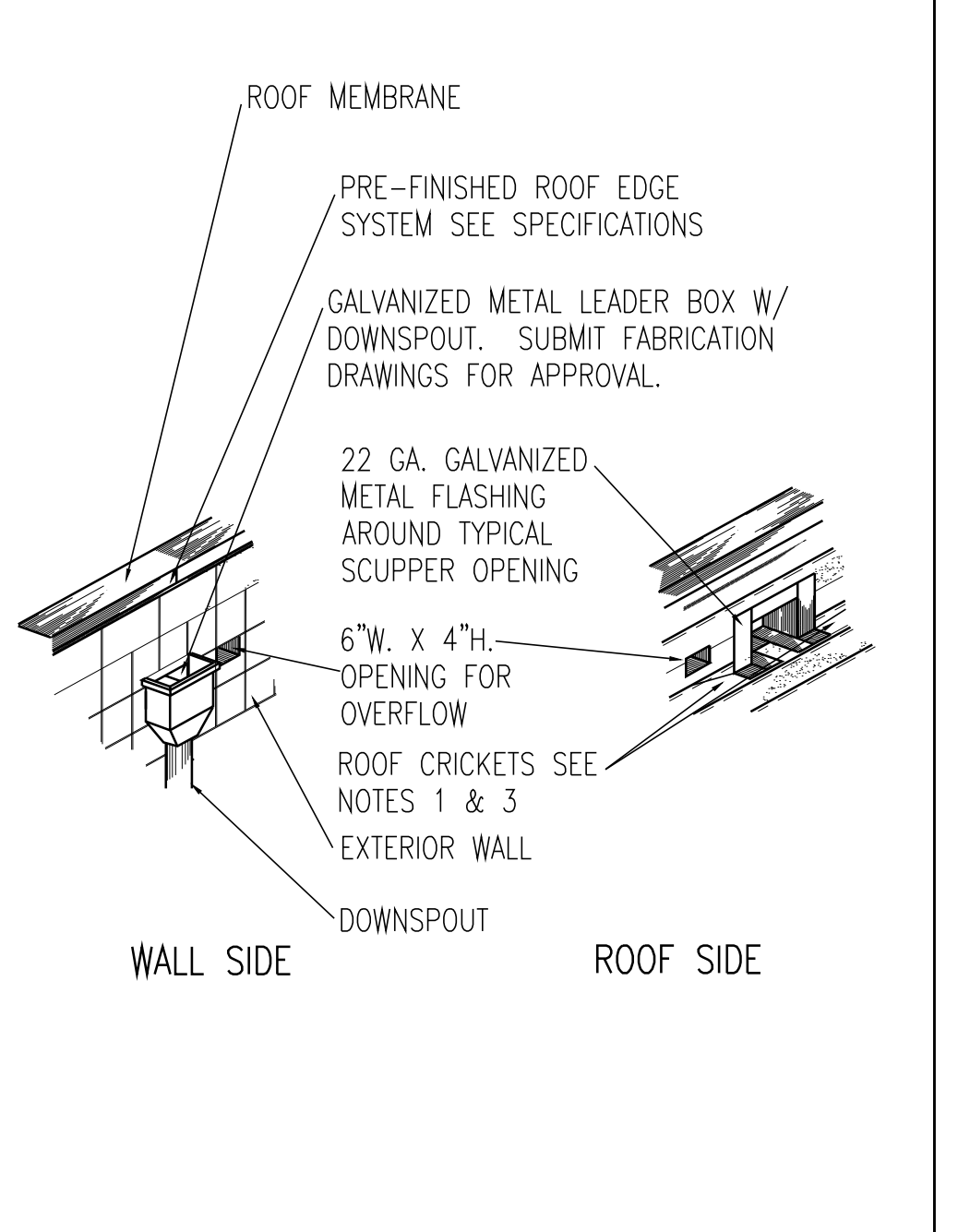
8. ROOF HATCH WITH LADDER BELOW.

ROOF SLOPE = 3 PERCENT  
DESIGN RAINFALL = 4.5 INCHES PER HOUR = .0468 GPM  
TOTAL ROOF AREA = 7381 SQ. FT. = 345 GPM  
ROOF IS DIVIDED INTO THREE AREAS OF 2460 S.F. = 115 GPM EA.  
4" ROOF DRAIN HAS A CAPACITY OF 192 GPM = 576 GPM TOTAL  
HORIZONTAL PIPING BETWEEN RD#1 AND RD#2 TO BE 4" DIA. @ 1/8" PER FT. CAPACITY 115 GPM; PIPING BETWEEN RD#2 AND RD#3 TO BE 6" DIA. @ 1/8" PER FT. CAPACITY 243 GPM; PIPING BETWEEN RD#3 AND THE VERTICAL LEADER TO BE 6" DIA. @ 1/8" PER FT. CAPACITY 344 GPM. 6" VERTICAL LEADER CAPACITY 563 GPM.  
OVERFLOW SYSTEM TO BE SIZED THE SAME AS THE PRIMARY WITH THE FLOW LINE OF THE OVERFLOW DRAINS SET 2" ABOVE THE PRIMARY.  
1/2" = 1'-0" ARN27N2

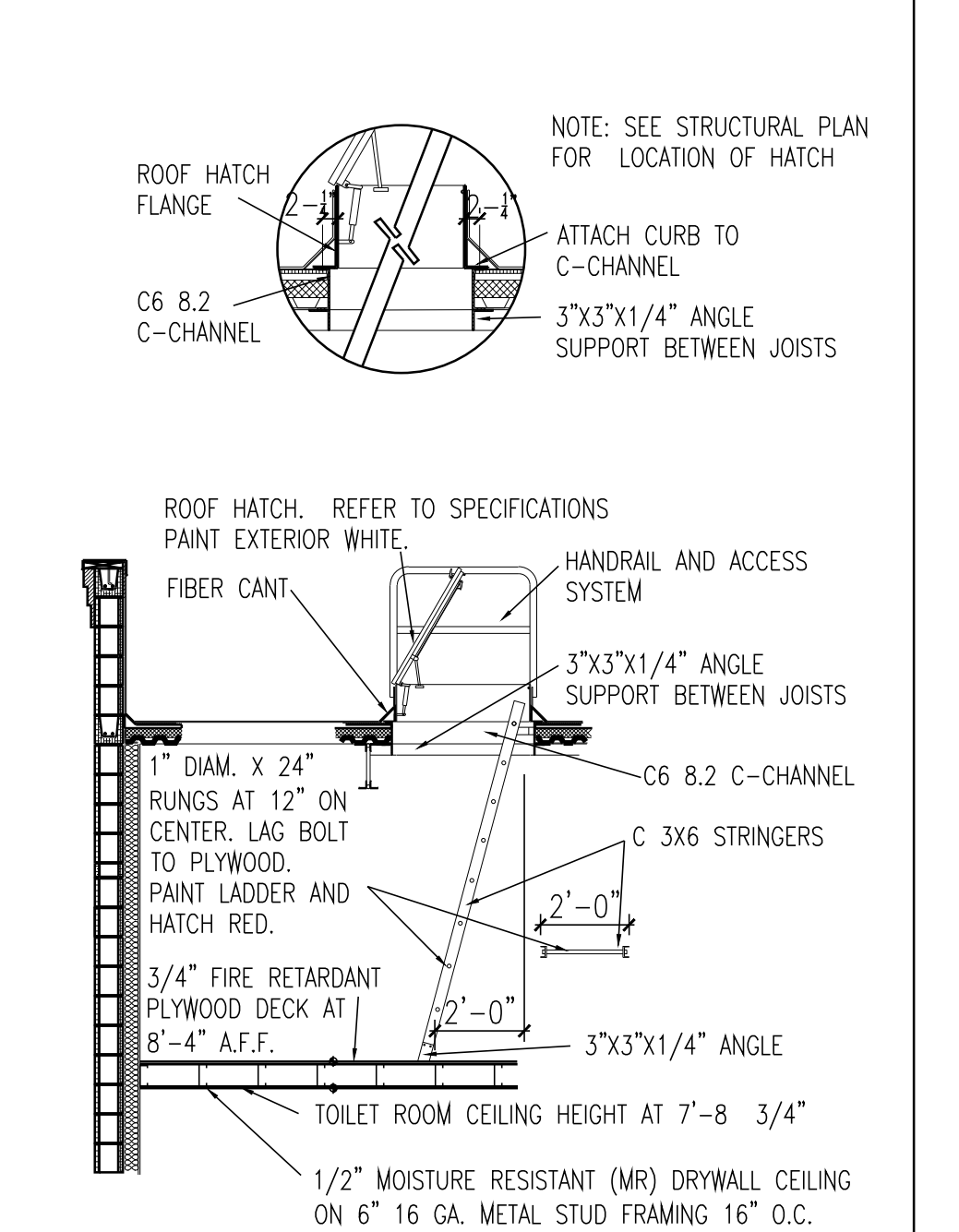
3 RAINWATER CALCULATIONS



4 ROOF EDGE DETAIL



5 ROOF AT GUTTER



6 ROOF HATCH DETAIL

1/4" = 1'-0"  
2 ROOF PLAN NOTES

AutoZone Store No. 1132  
SOUTH MADERA AVE (HWY 145)  
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ROOF PLAN / DETAILS

Architect: Phil Record  
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TEL: 901-495-6500 FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
Dodge Data & Analytics, Tel. 1-844-326-3826 ext 9429  
Cindy.searcy@construction.com

4-16-24

7N2-L

A-6



# D-Series Size 1 LED Wall Luminaire



d<sup>series</sup>

## Specifications Luminaire

**Width:** 13-3/4" (34.9 cm)  
**Depth:** 10" (25.4 cm)  
**Height:** 6-3/8" (16.2 cm)

**Weight:** 12 lbs (5.4 kg)  
**Weight:** 10 lbs (4.5 kg)

## Back Box (BBW, ELCW) Luminaire

**Width:** 13-3/4" (34.9 cm)  
**Depth:** 4" (10.2 cm)  
**Height:** 6-3/8" (16.2 cm)

**Weight:** 5 lbs (2.3 kg)  
**Weight:** 10 lbs (4.5 kg)

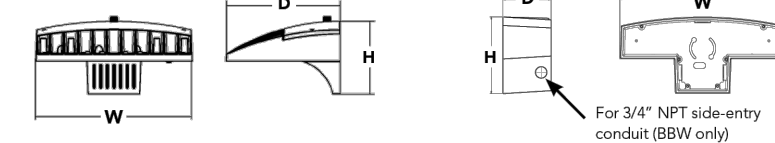
Catalog Number	
Notes	
Type	

Hit the 3D key or mouse over the page to see all interactive elements.

## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



For 3/4" NPT side-entry conduit (BBW only)

## Ordering Information

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (low output)	350 350mA	30K 3000K	T2S Type II Short	120V	Shipped included (blank) Surface-mounting bracket	Shipped installed FE Photometric cell, button type <sup>4</sup>
	20C 20 LEDs (low output) <sup>1</sup>	700 700mA	40K 4000K	T3M Type II Medium	208V	BBW Surface-mounted back box (for conduit entry)	DMG 0-10v dimming wires pulled outside fixture (for use with an external sensor, ordered separately)
			50K 5000K	T35 Type II Short	240V		PIR 180° motion/ambient light sensor, <15° mtg ht. <sup>12</sup>
			AMPCV phosphor converted	T4M Type II Medium	277V		PIRH 180° motion/ambient light sensor, 15-30° mtg ht. <sup>12</sup>
				T4M Forward Throw Medium	347V		PIRHFCV Motion/ambient sensor, 0-15° mounting height, ambient sensor enabled at 16" <sup>14</sup>
					480V		PIRHFCV Motion/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16" <sup>14</sup>
							ELCW Emergency battery backup (includes external component enclosure, CA IRE 20 Noncompliant <sup>15</sup> )

Other Options	Finish Options
<b>Shipped installed</b> SF Single face (120, 277 or 347V) <sup>16</sup> DF Double face (208, 240 or 480V) <sup>16</sup> HS House side shield <sup>17</sup> SPD Separate surge protection <sup>18</sup>	<b>Shipped separately<sup>19</sup></b> BSW Bid-diretention spikes VG Vandal guard DDL Diffused drop lens

Accessories	NOTES
DSXW1S1 House side shield per luminaire DSXW1S2 Bid-diretention spikes DSXW1S3 Vandal guard accessory DSXW1S4 Diffused drop lens	1 20C 10 LED is not available with PIR, PIRH, PIRHFCV or PIRHFCV2. 2 MFCV2 sensor operates on any line voltage from 120-277V (50/60 Hz). 3 Single face (SF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option. 4 Only available with 20C 10 LED or 100 LED. Not available with PIR or PIRH. 5 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory. 6 Photometric (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH). 7 Reference Motion Sensor table on page 3. 8 Cold weather (CWC) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode (E) file located on product page at <a href="http://www.lithonia.com">www.lithonia.com</a> . 9 Not available with SPD. 10 Not available with ELCW. 11 Also available as a separate accessory; see Accessories Information. 12 Not available with ELCW.

LITHONIA LIGHTING  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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# D-Series Size 1 LED Area Luminaire



d<sup>series</sup>

## Specifications

**Length:** 33" (83.8 cm)  
**Width:** 13" (33.0 cm)  
**Height H1:** 7-1/2" (19.0 cm)  
**Height H2:** 3-1/2" (9.1 cm)  
**Weight (max):** 27 lbs (12.2 kg)

Catalog Number	
Notes	
Type	

Hit the 3D key or mouse over the page to see all interactive elements.

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

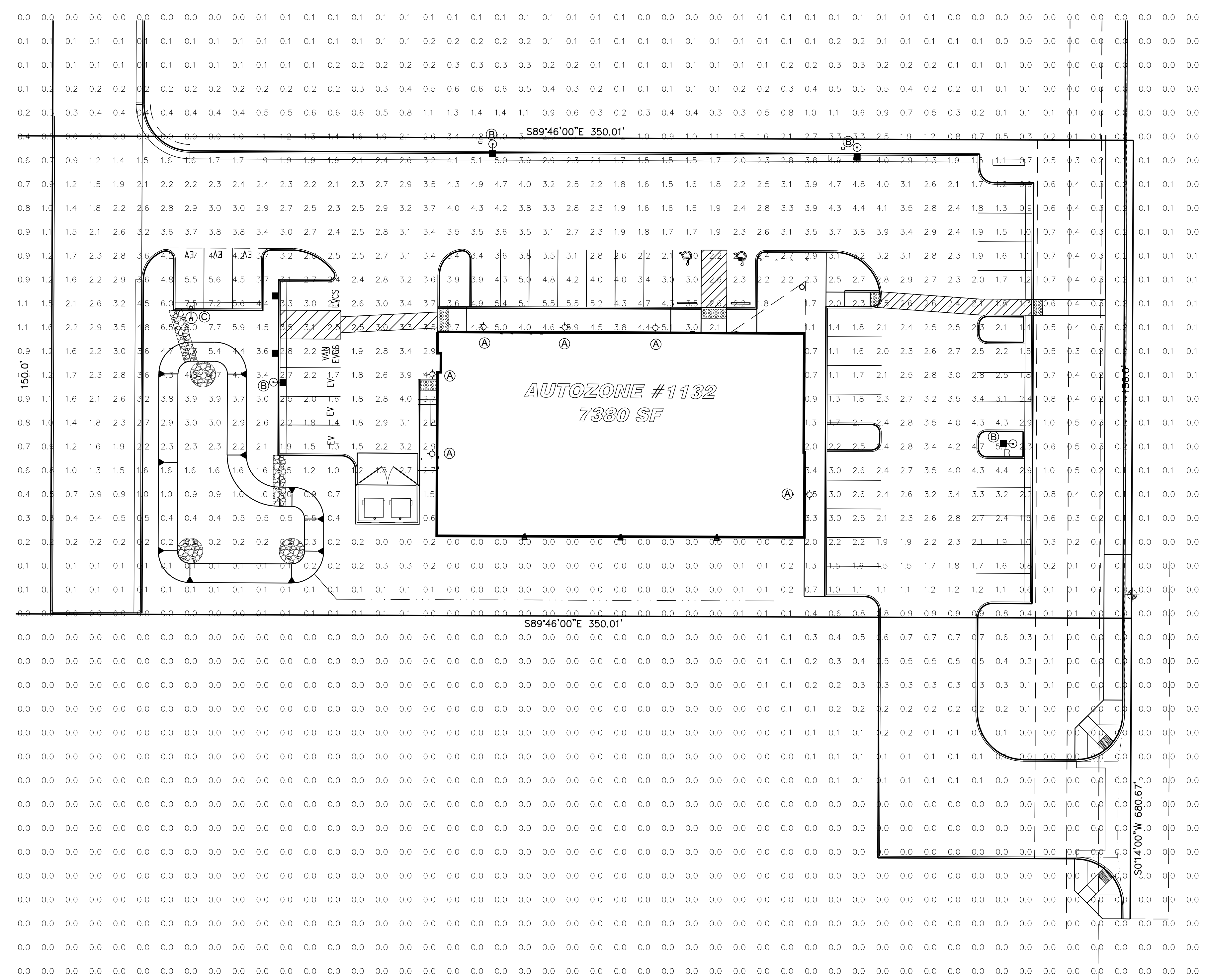
Series	LEDs	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSX1 LED	P1 P4 P7	30K 3000K	T1S Type I Short	120V	Shipped included SPA Square pole mounting	Shipped installed N3AR2 Height AB generation 2 enabled <sup>6</sup>
	P2 P5 P8	40K 4000K	T2S Type I Short	208V	RPA Round pole mounting	PIRH Network, high flow motion/ambient sensor <sup>11</sup>
	P3 P6 P9	50K 5000K	T3M Type I Medium	240V	WSA Wall bracket	PER NEMA twist-lock receptacle only (controls ordered separately) <sup>12</sup>
			T4M Type II Short	277V	SPUMBA Square pole universal mounting adaptor <sup>8</sup>	PIRS Five-pin receptacle only (controls ordered separately) <sup>12</sup>
			T5M Type II Medium	347V	RPMBA Round pole universal mounting adaptor <sup>8</sup>	PIR2 Seven-pin receptacle only (controls ordered separately) <sup>12</sup>
			T6M Type II Medium	480V	Shipped separately KIMAD DBXD10 <sup>14</sup> Mount with mounting bracket adaptor (specify finish) <sup>8</sup>	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>13</sup>
			T7M Forward throw medium			DS Dual switching <sup>14,15</sup>

Control options	Other options	Finish Options
<b>Shipped installed</b> N3AR2 Height AB generation 2 enabled <sup>6</sup> PIRH Network, high flow motion/ambient sensor <sup>11</sup> PER NEMA twist-lock receptacle only (controls ordered separately) <sup>12</sup> PIRS Five-pin receptacle only (controls ordered separately) <sup>12</sup> PIR2 Seven-pin receptacle only (controls ordered separately) <sup>12</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>13</sup> DS Dual switching <sup>14,15</sup>	<b>Shipped separately</b> BS Bid spikes <sup>16</sup> EGS External glare shield	<b>Shipped installed</b> DOBDD Dark bronze OBLDD Black DNAXD Natural aluminum DWHWD White DOBTD Textured dark bronze OBLTD Textured black DNAXD Textured natural aluminum DWHWD Textured white

LITHONIA LIGHTING  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max	Min/Max	Min/Avg	Max/Avg
IMPERVIOUS	X	2.5 fc	7.5 fc	0.1 fc	75.0:1	25.0:1	0.3:1	0.01	0.04	3.00
SITE	X	2.2 fc	8.0 fc	0.1 fc	80.0:1	22.0:1	0.3:1	0.01	0.05	3.64
Calc. Zone #1	+	0.9 fc	8.0 fc	0.0 fc	N/A	N/A	0.1:1	0.00	0.00	8.89

Symbol	Label	QTY	Manufacturer	Catalog	Description	Filename	Mounting	Lamp Output	LLF	Input Power
⊕	A	6	Lithonia Lighting	WallPack DSXW1 LED 10C 1000 40K T3M MVOLT	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 1000mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	DSXW1_LED_10_C_1000_40K_T3M_MVOLT.res	Blgg, 12'-0" AFG	3043	0.95	40
⊕	B	4	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT	DSX1 LED P8 40K T4M MVOLT	DSX1_LED_P8_40K_T4M_MVOLT.res	Pole 28'-0" AFG	23740	0.95	207
⊕	C	1	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT	DSX1 LED P8 40K T4M MVOLT	DSX1_LED_P8_40K_T4M_MVOLT.res	Pole 28'-0" AFG	23740	0.95	414



OWNER:  
**AutoZone Parts, Inc**  
 123 S. FRONT STREET, 3rd FLOOR  
 MEMPHIS, TENNESSEE 38103

PREPARED FOR:  
**AutoZone STORE DEVELOPMENT**  
 Store No.: 1132  
 SOUTH MADERA AVE (HWY 145)  
 MADERA CA 93837

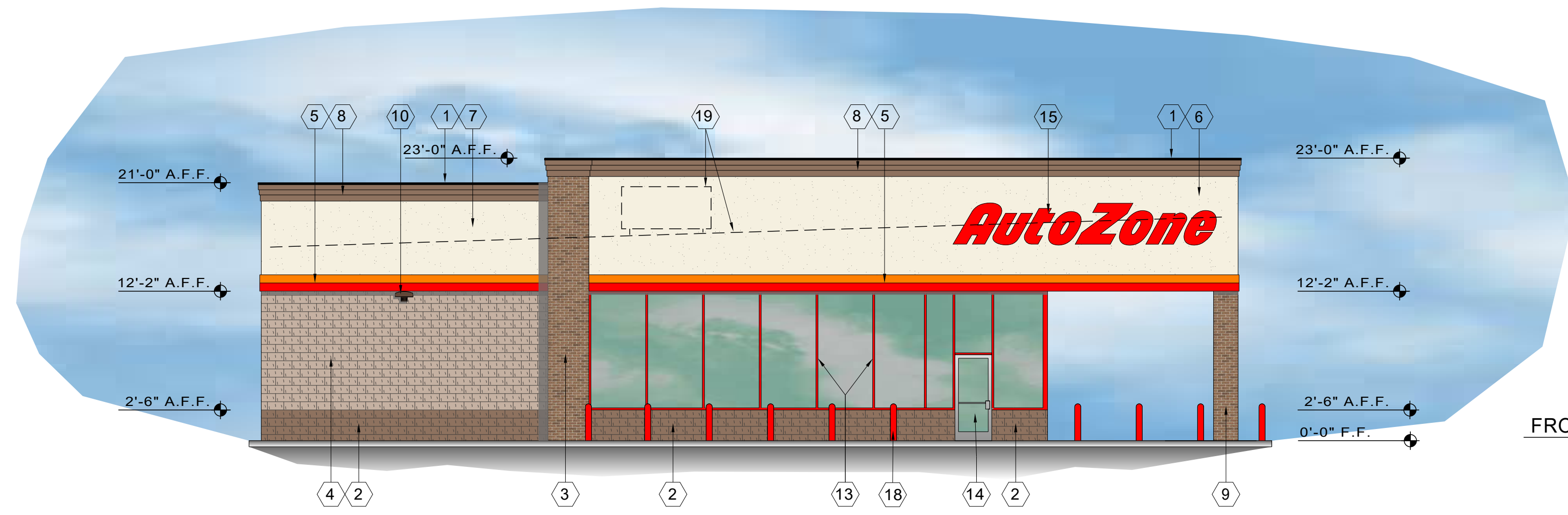
PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

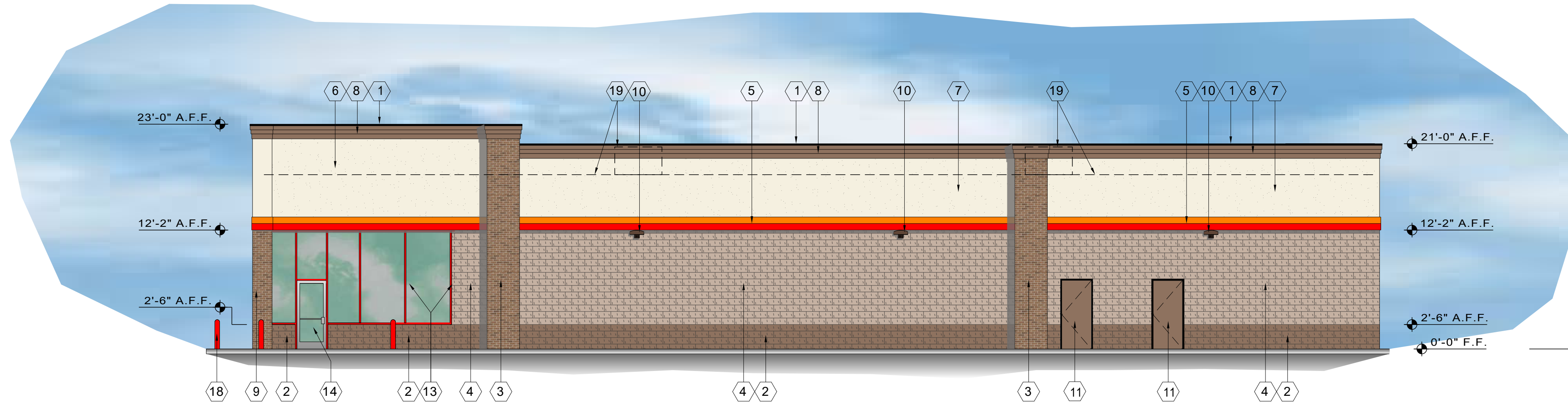
NO.	REVISIONS
1.	
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7.	

ARCHITECT:  
 DRAFTSMAN:  
 CHECKED BY:  
 DATE 5/1/24  
 PROTOTYPE SIZE 7N2L

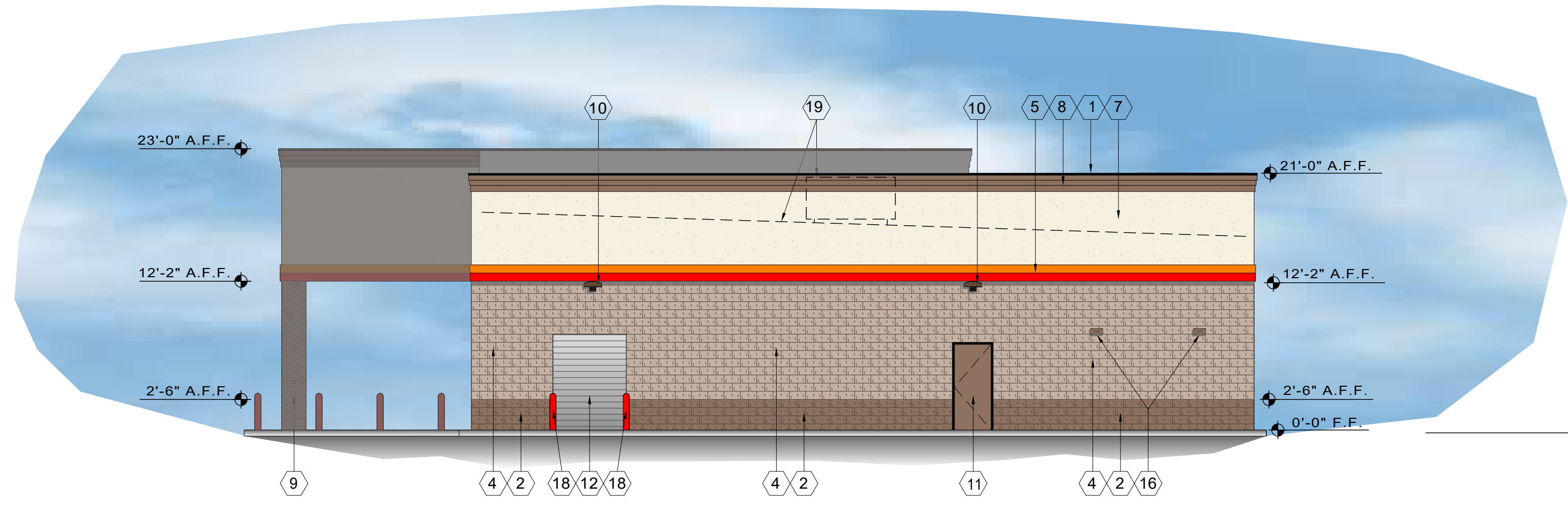
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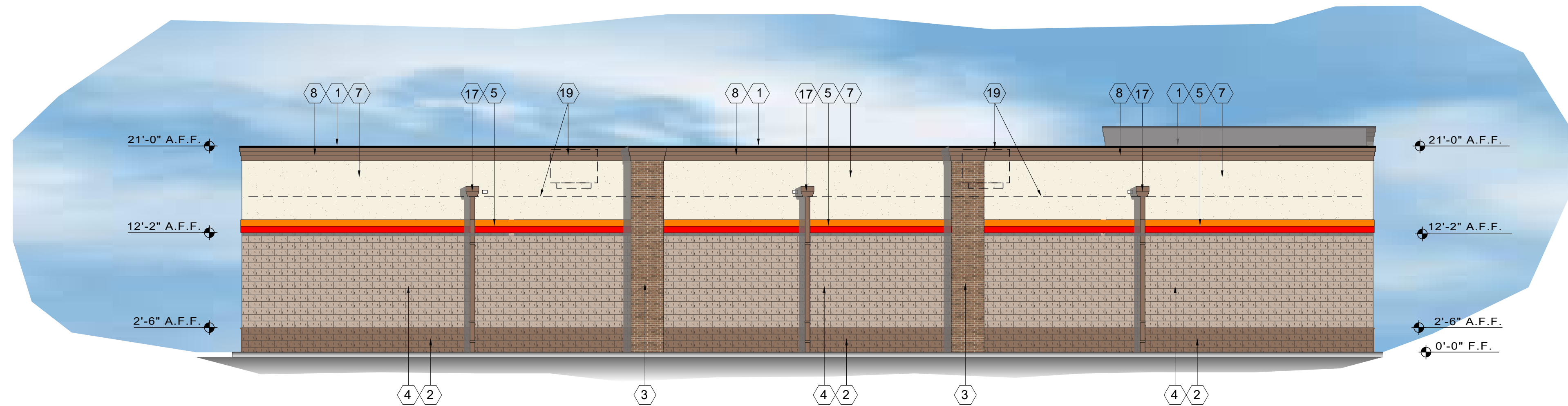
FRONT WALL-S MADERA AVE  
(NORTH SIDE)



RIGHT WALL  
(WEST SIDE)




REAR WALL  
(SOUTH SIDE)



LEFT WALL  
(EAST SIDE)

- 1 TWO PIECE COMPRESSION TRIM COLOR: BLACK
- 2 SPLIT FACE CMU BASE - COLOR: C3
- 3 3'-4" WD x 4" DP. PILASTERS - THIN STONE BRICK VENEER FULL HT.-MATERIAL M2
- 4 SPLIT FACE CMU - COLOR: C2
- 5 DOUBLE 8" STUCCO BAND - 1" PROJECTION COLOR: C4 - COLORS SEPERATED BY 3/8" DP. SCORED GROOVE
- 6 STUCCO FINISH OVER STOREFRONT COLOR: C1
- 7 STUCCO FINISH OVER CMU - COLOR: C1
- 8 DECORATIVE CORNICE W/ STUCCO FINISH COLOR: C3
- 9 2' SQ. SPLIT FACE CMU COLUMN W/ THIN BRICK VENEER - MATERIAL: M1
- 10 WALL MOUNTED LIGHT FIXTURE COLOR: BRONZE
- 11 PAINT MAN DOOR COLOR: C3 & METAL FRAMES BLACK
- 12 OVERHEAD DELIVERY DOOR - ANODIZED FINISH
- 13 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 14 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 15 FRONT WALL SIGN: 38" CHANNEL LTRS NSTRP
- 16 TOILET WALL VENTS PAINT COLOR: C3
- 17 SCUPPERS AND DOWNSPOUTS PAINT COLOR: C2 ADJACENT 4"H. X 6"W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 18 PIPE GUARD WITH RED SLEEVE
- 19 ROOF LINE & FULLY SCREENED HVAC RTU'S

2 ELEVATION KEY NOTES

-  C1 - SW6091 - RELIABLE WHITE
-  C2 - SW6086 - SAND DUNE
-  C3 - SW6088 - NUTHATCH
-  C4 - AUTOZONE TRADEMARK RED / ORANGE
-  M1 - GLEN GERY / SIOUX CITY BRICK THIN BRICK: BADLANDS VELOUR

3 COLOR & MATERIALS

REVISIONS	
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

AutoZone Store No. 1132	MADERA	CA	93637
SOUTH MADERA AVE (HWY 145)			
COLOR EXTERIOR ELEVATIONS & NOTES			

Architect: George Callow 123 South Front Street Memphis, Tennessee 38103 TEL: (901) 495-8969 FAX: (901) 495-8969	For Bidding & Contractor Information Contact: McGraw - Hill Construction Tel. 615-884-1017 www.construction.com
--	---

7N2-R
<b>CE1</b>

**TITLE LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MADERA IN THE COUNTY OF MADERA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 18-P-03, ACCORDING TO THE MAP THEREOF RECORDED MAY 3, 2019, IN BOOK 65 OF PARCEL MAPS, PAGES 42 AND 43, MADERA COUNTY RECORDS, LYING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 11 SOUTH, RANGE 17 EAST, MOUNT DIABLO MERIDIAN, IN THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA.

THE LAND DESCRIBED IS THE SAME LAND AS SHOWN ON THE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-1162783-MICH, DATED JANUARY 12, 2023.

**MISCELLANEOUS NOTES**

- N1 THIS PROPERTY HAS DIRECT PHYSICAL ACCESS TO SOUTH MADERA AVENUE AND THIS PROPERTY HAS ACCESS TO WEST GARY LANE VIA EASEMENT, WHICH IS A DEDICATED PUBLIC ROAD OR HIGHWAY, WITH NO GAPS, GORES OR OVERLAPS.
- N2 THERE ARE NO BUILDINGS LOCATED ON THIS PROPERTY. (TABLE A ITEM #2)
- N3 THE GROSS LAND AREA OF THIS PROPERTY IS 238,226± SQUARE FEET OR 5.4689± ACRES. (TABLE A ITEM #4)
- N4 THERE ARE NO BUILDINGS LOCATED ON THIS PROPERTY. (TABLE A ITEM #7A, 7B1, & 7C)
- N5 ALL SUBSTANTIAL FEATURES AND IMPROVEMENTS LOCATED AND OBSERVED ON SITE AND WITHIN FIVE FEET OF THE PROPERTY BOUNDARIES ARE SHOWN. THERE WERE NO OBSERVED AREAS OF SUBSTANTIAL REFUSE AT THE TIME OF THE SURVEY. (TABLE A ITEM #8)
- N6 THERE WERE NO OBSERVED PARTY WALLS WITH ADJACENT LAND OWNERS. (TABLE A ITEM #10)
- N7 OWNER INFORMATION WAS TAKEN FROM THE LATEST TAX ASSESSORS PROPERTY OWNERS MAP WHEN THIS LAND TITLE SURVEY WAS PREPARED. (TABLE A ITEM #13)
- N8 THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THE SURVEY. (TABLE A ITEM #16)
- N9 THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY. (TABLE A ITEM #17)
- N10 THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES, GRAVESITES, AND BURIAL GROUNDS AT THE TIME OF THIS SURVEY. NO CEMETERIES, GRAVESITES, AND BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR.
- N11 THERE WAS NO OBSERVABLE EVIDENCE OF EXISTING TANKS OR DRAINAGE FIELDS.
- N12 THE BOUNDARY OF THE SURVEY PROPERTY AS DESCRIBED FORMS A MATHEMATICALLY CLOSED FIGURE. THE BOUNDARY LINES OF THE PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD. THE PARCELS ARE CONTIGUOUS WITH NO GAPS OR GORES.

**STATEMENT OF ENCROACHMENTS**

NO VISIBLE ENCROACHMENTS WERE OBSERVED OR NOTED AT THE TIME OF THE SURVEY.

**ZONING**

A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY. (TABLE A ITEM #6(A) #6(B))  
 ZONING REGULATIONS: REGULATIONS FOR THIS SITE ARE IN ACCORDANCE WITH THE CITY OF MADERA ZONING ORDINANCE.  
 ZONING DISTRICT: THIS SITE IS LOCATED IN C-2, HEAVY COMMERCIAL.  
 CURRENT USE: VACANT LAND

AREA REGULATIONS:  
 SITE AREA: THE MINIMUM LOT AREA FOR EACH MAIN BUILDING SHALL BE (10-3.903) 2,000 SQUARE FEET.  
 HEIGHT OF STRUCTURES: THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE (10-3.904) 65 FEET, PROVIDED THAT ADDITIONAL HEIGHT MAY BE PERMITTED IF A USE PERMIT IS FIRST SECURED.  
 FRONT YARD REQUIREMENT: THERE SHALL BE NO REQUIREMENTS FOR FRONT (10-3.805) YARDS, EXCEPT WHERE THE FRONTAGE IN A BLOCK IS PARTIALLY IN A N ZONE, IN WHICH CASE THE FRONT YARD SHALL BE THE SAME AS REQUIRED IN SUCH R ZONE.  
 SIDE YARD REQUIREMENT: THERE SHALL BE NO REQUIREMENTS FOR SIDE (10-3.805) YARD, EXCEPT WHERE THE SIDE OF A LOT ABUTS UPON THE SIDE OF A LOT IN A R ZONE, IN WHICH CASE THE SIDE YARD SHALL NOT BE LESS THAN 10 FEET.  
 REAR YARD REQUIREMENT: THERE SHALL BE NO REQUIREMENTS FOR REAR (10-3.805) YARDS, EXCEPT WHERE THE REAR OF A LOT ABUTS ON A R ZONE, IN WHICH CASE THE REAR YARD SHALL BE NOT LESS THAN TEN FEET  
 TRAILER CAMP  
 SITE REQUIREMENTS: NO TRAILER COACH SHALL BE USED AS A (10-3.906) PLACE OF HABITATION UPON ANY PREMISES OTHER THAN A SITE CAPABLE OF SERVING AT LEAST TEN TRAILER COACHES. THE SITE SHALL PROVIDE FOR EACH OF THE TRAILER COACHES AN UNOCCUPIED RECTANGULAR SPACE OF NO LESS THAN 25X25 FEET, OF ITS EQUIVALENT OF 500 SQUARE FEET WHEN ARRANGED IN ROW ABUTTING OR FACING UPON A DRIVEWAY OR CLEAR UNOCCUPIED SPACE OF NO LESS THAN 20 FEET IN WIDTH, WHICH DRIVEWAY OR SPACE SHALL HAVE AN UNOBSTRUCTED ACCESS TO A PUBLIC STREET OR ALLEY, WHEN SO ARRANGED, NO TRAILER COACH SHALL BE WITHIN 25 FEET OF ANY PUBLIC STREET, ALLEY, OR EXTERIOR BOUNDARY OF ANY CAMPGROUND AREA.

A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.

**FLOOD ZONE**

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NO. 060172, MAP NUMBER 06039C1160E WHICH BEARS AN EFFECTIVE DATE OF 09/26/2008 AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTPS://WWW.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. ZONE "X" DENOTES AREAS OUTSIDE OF THE 500-YEAR FLOODPLAIN DETERMINED TO BE OUTSIDE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS. (TABLE A ITEM #3)

**SURVEY RELATED ITEMS CORRESPONDING TO "SCHEDULE B SECTION TWO EXCEPTIONS" IN THE TITLE COMMITMENT**

- 10. AN EASEMENT FOR DITCHES AND CANALS AND INCIDENTAL PURPOSES, RECORDED AUGUST 08, 1895 AS BOOK 2, PAGE 12 OF WATER RIGHTS.  
 IN FAVOR OF: MADERA CANAL AND IRRIGATION COMPANY, ITS SUCCESSORS AND ASSIGNS  
 AFFECTS: AS DESCRIBED THEREIN LOCATED OFF-SITE. DOES NOT AFFECT.
- 11. AN EASEMENT FOR DITCHES AND CANALS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 20, 1897 AS BOOK 2, PAGE 46 OF WATER RIGHTS.  
 IN FAVOR OF: MADERA CANAL AND IRRIGATION COMPANY, ITS SUCCESSORS AND ASSIGNS  
 AFFECTS: AS DESCRIBED THEREIN AFFECTS SURVEYED PROPERTY. BLANKET IN NATURE. NO PLOTTABLE ISSUES.
- 12. AN EASEMENT FOR IRRIGATION PIPELINE FACILITIES AND APPURTENANCES THERETO, UPON, OVER, BENEATH AND ACROSS A PORTION OF THE HEREIN DESCRIBED PROPERTY AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 20, 1974 AS BOOK 1214 PAGE 528 AS INSTRUMENT NO. 16013 OF OFFICIAL RECORDS.  
 IN FAVOR OF: MADERA IRRIGATION DISTRICT  
 AFFECTS: AS DESCRIBED THEREIN AFFECTS SURVEYED PROPERTY. PLOTTED HEREON.
- 13. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT" RECORDED FEBRUARY 11, 1991 AS INSTRUMENT NO. 9132187 OF OFFICIAL RECORDS. ADDITIONAL DOCUMENTS NEEDED, NOT PROVIDED AT TIME OF SURVEY. UNABLE TO PLOT.
- 14. AN EASEMENT FOR STREET, SEWER, WATER, PUBLIC UTILITY AND ANY AND ALL OTHER MUNICIPAL PURPOSES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 23, 1992 AS INSTRUMENT NO. 92-36014 OF OFFICIAL RECORDS.  
 IN FAVOR OF: CITY OF MADERA  
 AFFECTS: AS DESCRIBED THEREIN ADDITIONAL DOCUMENTS NEEDED, NOT PROVIDED AT TIME OF SURVEY. UNABLE TO PLOT.
- 15. AN EASEMENT FOR PUBLIC STREET PURPOSES AND INCIDENTAL PURPOSES, RECORDED JUNE 18, 1997 AS INSTRUMENT NO. 97-15598 OF OFFICIAL RECORDS.  
 IN FAVOR OF: CITY OF MADERA, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA  
 AFFECTS: AS DESCRIBED THEREIN AFFECTS SURVEYED PROPERTY. PLOTTED HEREON.
- 16. AN EASEMENT FOR PUBLIC UTILITY PURPOSES AND INCIDENTAL PURPOSES, RECORDED JUNE 18, 1997 AS INSTRUMENT NO. 97-15599 OF OFFICIAL RECORDS.  
 IN FAVOR OF: CITY OF MADERA, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA  
 AFFECTS: AS DESCRIBED THEREIN AFFECTS SURVEYED PROPERTY. PLOTTED HEREON.
- 17. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED PARCEL MAP AND DEFERRED IMPROVEMENT AGREEMENT PARCEL MAP NO. 97-P-01 IMPROVEMENTS EXECUTED BY AND BETWEEN CITY OF MADERA, A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA AND JOHN W. NIPP, PASQUALE DESANTIS AND CARMELA DESANTIS RECORDED JUNE 18, 1997 AS INSTRUMENT NO. 97-15600 OF OFFICIAL RECORDS. NO LOCATION DESCRIBED. NO PLOTTABLE ISSUES. SUBJECT TO TERMS AND PROVISIONS CONTAINED THEREIN.
- 18. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED STATEMENT OF COVENANTS AFFECTING LAND DEVELOPMENT EXECUTED BY AND BETWEEN JOHN W. NIPP, PASQUALE DESANTIS AND CARMELA DESANTIS AND DMP DEVELOPMENT CORPORATION, A CALIFORNIA CORPORATION RECORDED JUNE 18, 1997 AS INSTRUMENT NO. 97-15601 OF OFFICIAL RECORDS. NO LOCATION DESCRIBED. NO PLOTTABLE ISSUES. SUBJECT TO TERMS AND PROVISIONS CONTAINED THEREIN.
- 19. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED DECLARATION OF GRANT OF EASEMENTS AND COVENANTS PARCEL MAP NO. 97-P-01 RECORDED JUNE 18, 1997 AS INSTRUMENT NO. 97-15602 OF OFFICIAL RECORDS. ADJACENT TO SURVEYED PROPERTY. PLOTTED HEREON.
- 20. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED STATEMENT OF COVENANTS AFFECTING LAND DEVELOPMENT EXECUTED BY AND BETWEEN JOHN W. NIPP, PASQUALE DESANTIS AND CARMELA DESANTIS AND YOSEMITE POINT PARTNERSHIP, A GENERAL PARTNERSHIP OR ITS ASSIGNS RECORDED JUNE 30, 1997 AS INSTRUMENT NO. 97-16699 OF OFFICIAL RECORDS. ADJACENT TO SURVEYED PROPERTY. PLOTTED HEREON.
- 21. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESTRICTIVE COVENANT" RECORDED OCTOBER 01, 2012 AS INSTRUMENT NO. 2012027421 OF OFFICIAL RECORDS. AFFECTS SURVEYED PROPERTY. SUBJECT TO TERMS AND PROVISIONS CONTAINED THEREIN. NO PLOTTABLE ISSUES.
- 22. AN OFFER OF DEDICATION FOR STATE HIGHWAY PURPOSES AND APPURTENANCES THERETO AND INCIDENTAL PURPOSES, RECORDED APRIL 16, 2019 AS INSTRUMENT NO. 2019007737 OF OFFICIAL RECORDS.  
 TO: STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION  
 AFFECTS SURVEYED PROPERTY. NO PLOTTABLE ISSUES.
- 23. A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTIGUOUS FREEWAY, HIGHWAY, ROADWAY OR TRANSIT FACILITY AS CONTAINED IN THE DOCUMENT RECORDED APRIL 16, 2019 AS INSTRUMENT NO. 2019007737 OF OFFICIAL RECORDS. AFFECTS SURVEYED PROPERTY. NO PLOTTABLE ISSUES.
- 24. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED JUNE 07, 2019 AS INSTRUMENT NO. 2019012384 OF OFFICIAL RECORDS. ADJACENT TO SURVEYED PROPERTY. PLOTTED HEREON.

**UTILITY NOTE**

THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV.

SURVEYOR ASSUMES NO RESPONSIBILITY FOR UNMARKED OR NONVISIBLE UTILITIES THAT MAY CROSS THE AREAS SHOWN ON THIS SURVEY.

LOCAL UTILITY CONTACT INFO:

- CITY OF MADERA: (559)661-5466
- COMCAST: (323)342-5552
- MADERA IRRIGATION DISTRICT: (559)673-3514
- PACIFIC BELL: (510)645-2929
- PACIFIC GAS & ELECTRIC: (650)418-1449

**BENCHMARK**

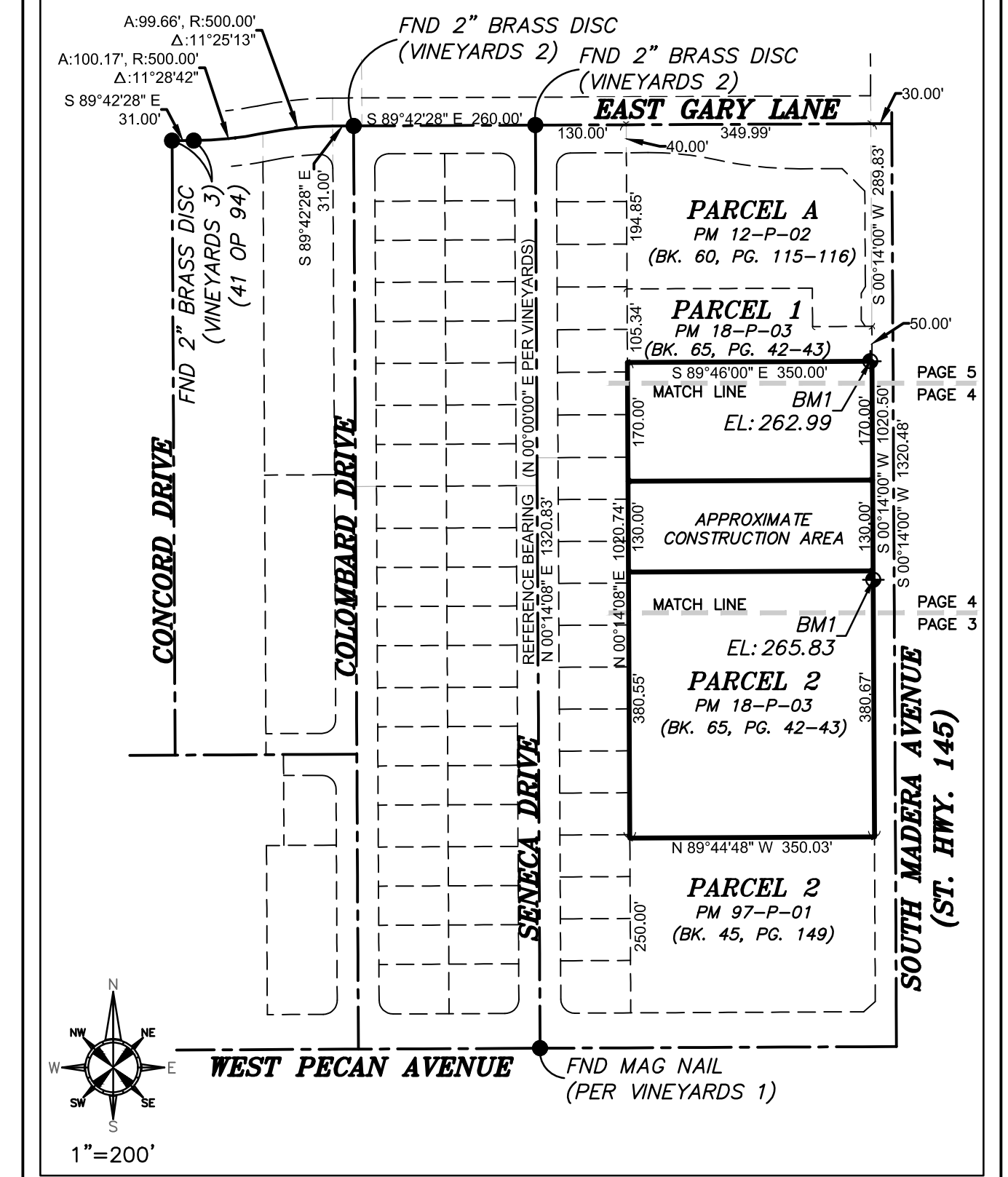
STATE PLANE ZONE: 0403 CALIFORNIA ZONE 3  
 HORIZONTAL DATUM: NAD 83  
 VERTICAL DATUM: NAVD 88  
 OPUS CORRECTED

BM1: BENCHMARK #1:  
 ELEVATION = 262.99'  
 SET CUT BOX ON TOP OF CURB LOCATED ON SITE WEST OF SOUTH MADERA AVENUE, 5.6' SOUTH AND 14.4' WEST OF THE NE PROPERTY CORNER.  
 N = 1,801,310.2252  
 E = 6,691,380.8316

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTER LINE OF SENECA DRIVE, KNOWN AS N 00°00'00" E (R) [N 00°14'08" E (M)], AS DESCRIBED IN DOCUMENT NO. 9012422, THE VINEYARDS, VOLUME 36 OF PLATS AT PAGES 89 AND 90, OF OFFICIAL RECORDS IN THE CITY OF MADERA, COUNTY OF MADERA, STATE OF CALIFORNIA, DATED MAY 17, 1990.

**MONUMENT EXHIBIT**



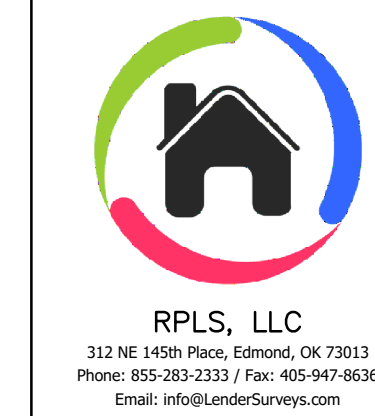
**ALTA/NSPS LAND TITLE SURVEY**

FOR  
**AUTOZONE**  
 STORE NUMBER: 1132  
 PROPERTY ADDRESS:  
 NEAR CORNER OF SOUTH MADERA AVENUE AND WEST GARY LANE,  
 MADERA, CA. 93637  
 ALTA SURVEY BASED AND RELIED ON  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 TITLE COMMITMENT, NUMBER NCS-1162783-MICH,  
 CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023

**CERTIFICATION**

TO: FIRST AMERICAN TITLE INSURANCE COMPANY; JOHN W. AND NATALIA V. NIPP; PASQUALE AND CARMELA DESANTIS; AND AUTOZONE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

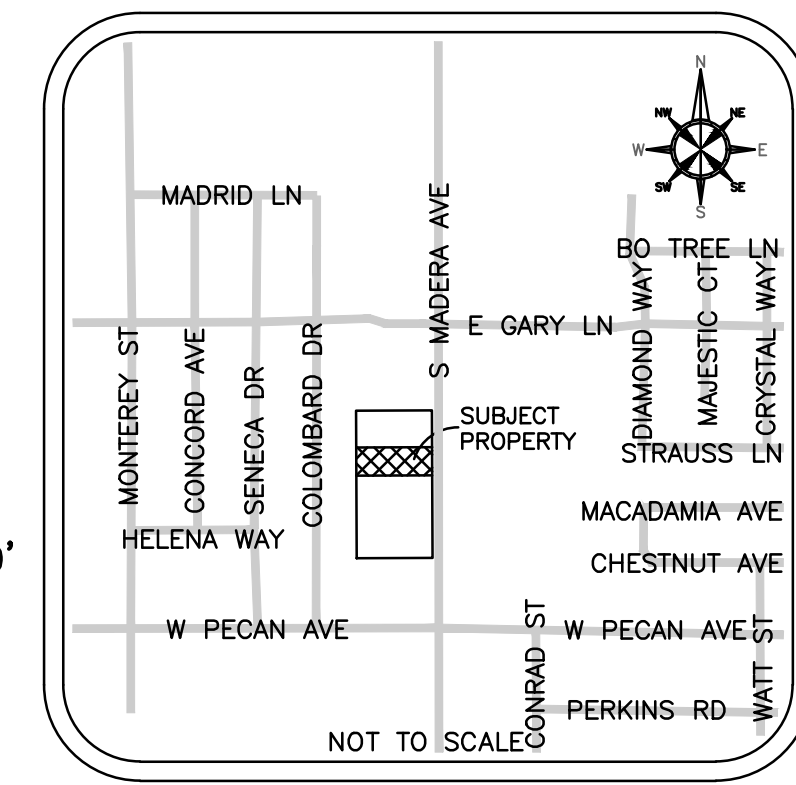
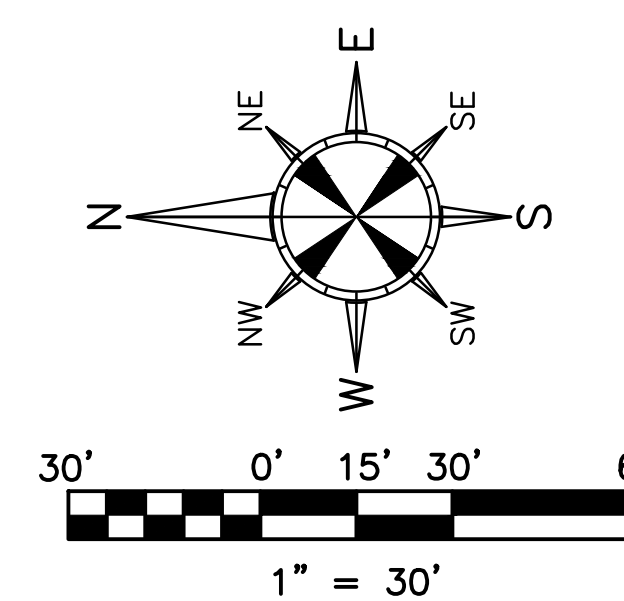


THE FIELDWORK WAS COMPLETED ON: 02/15/2023.  
 DATE OF PLAT OR MAP: (TO BE DATED UPON SIGNATURE)  
 SURVEYOR: SCOTT E. OHANA  
 P.L.S. NO.: 7526  
 STATE OF REGISTRATION: CALIFORNIA

SIGNATURE

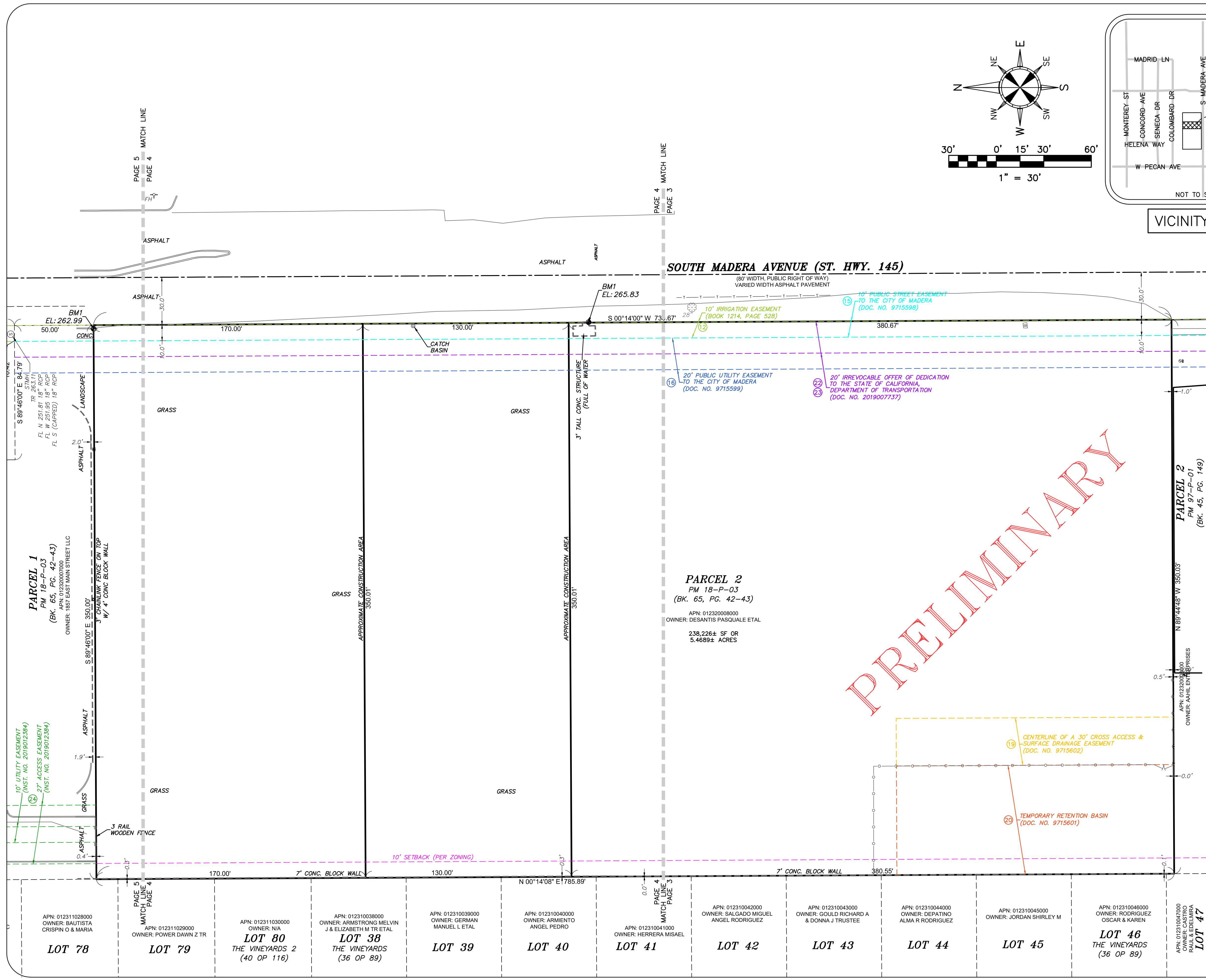


PRELIMINARY DRAWING DATE: 09/18/2023  
 DWN BY: CM  
 JOB NO: 30927AD  
 STORE #: 1132  
 PAGE 1 OF 4



ABBREVIATIONS	
A.C. PAD	GROUND LIGHT
AIR VALVE	GROUND ROD
AUTO-SPRINKLER	GUARD POST
BENCHMARK	HANDICAPPED TANK ACCESS
BORE HOLE	IRON ANCHOR
BUSH	IRON GRATE
CLEAN OUT	LIGHT POLE
ELEC. METER	MAIL BOX
ELEC. PED.	METER RACK
ELEC. TRANS.	MONITOR WELL
FIRE HYDRANT	MON. FOUND. TUB
FIRE RISER	MON. SET AS DESCRIBED
FLAG POLE	PIPELINE MARKER
GAS METER	POWER MH
GAS VALVE	PROPANE TANK
GATE	PULL BOX
GENERATOR	REBAR
MANHOLE OF UNKNOWN TYPE	REBAR CAP
BARBED WIRE FENCE	REBAR CAPPED
FENCE	STOCKADE FENCE
ROAD CENTERLINE	SUBJECT BOUNDARY LINE
OVERHEAD ELECTRIC LINE	UNDERGROUND ELECTRIC
OVERHEAD COMMUNICATIONS	UNDERGROUND COMMUNICATIONS
OVERHEAD SANITARY SEWER	UNDERGROUND SANITARY SEWER
ROAD SIGN	ROAD SIGN
SEWER MH	SEWER MH
STORM SEWER MH	STORM SEWER MH
TELE. MH	TELE. MH
TELE. PED.	TELE. PED.
TRAFFIC SIGNAL LIGHT	TRAFFIC SIGNAL LIGHT
TRAFFIC CONTROL BOX	TRAFFIC CONTROL BOX
TREE	TREE
UNDR. TELE. MARKER	UNDR. TELE. MARKER
T.V. PED.	T.V. PED.
UTILITY CABINET	UTILITY CABINET
UTILITY POLE	UTILITY POLE
WATER METER	WATER METER
WATER MH	WATER MH
WATER VALVE	WATER VALVE
ADJ./PLAT LINE	ADJ./PLAT LINE
EASEMENT LINE	EASEMENT LINE
SECTION LINE	SECTION LINE
TRAIN TRACKS	TRAIN TRACKS
R-RECORD DIMENSION	R-RECORD DIMENSION
R.O.W.-RIGHT-OF-WAY	R.O.W.-RIGHT-OF-WAY
RD-ROAD	RD-ROAD
RET.-RETAINING	RET.-RETAINING
SAN.-SANITARY	SAN.-SANITARY
STAT.-STATUTORY	STAT.-STATUTORY
TOP OF RM	TOP OF RM
TYP.-TYPICAL	TYP.-TYPICAL
U/G-UTILITY CABINET	U/G-UTILITY CABINET
U/G-UNDERGROUND	U/G-UNDERGROUND
W/UGS-WITH UNDERGROUND SERVICE	W/UGS-WITH UNDERGROUND SERVICE

**LEGEND**



**ALTA/NSPS LAND TITLE SURVEY**  
FOR  
**AUTOZONE**  
STORE NUMBER: 1132  
PROPERTY ADDRESS:  
NEAR CORNER OF SOUTH MADERA AVENUE AND WEST GARY LANE,  
MADERA, CA. 93637  
ALTA SURVEY BASED AND RELIED ON  
FIRST AMERICAN TITLE INSURANCE COMPANY  
TITLE COMMITMENT, NUMBER NCS-1162783-MICH,  
CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023

**CERTIFICATION**

TO: FIRST AMERICAN TITLE INSURANCE COMPANY; JOHN W. AND NATALIA V. NIPP; PASQUALE AND CARMELA DESANTIS; AND AUTOZONE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON: 02/15/2023.  
DATE OF PLAT OR MAP: (TO BE DATED UPON SIGNATURE)  
SURVEYOR: SCOTT E. OHANA  
P.L.S. NO.: 7526  
STATE OF REGISTRATION: CALIFORNIA

SIGNATURE \_\_\_\_\_

**PRELIMINARY**

**AutoZone**

PRELIMINARY DRAWING DATE: 09/18/2023  
DWN BY: CM  
JOB NO: 30927AD

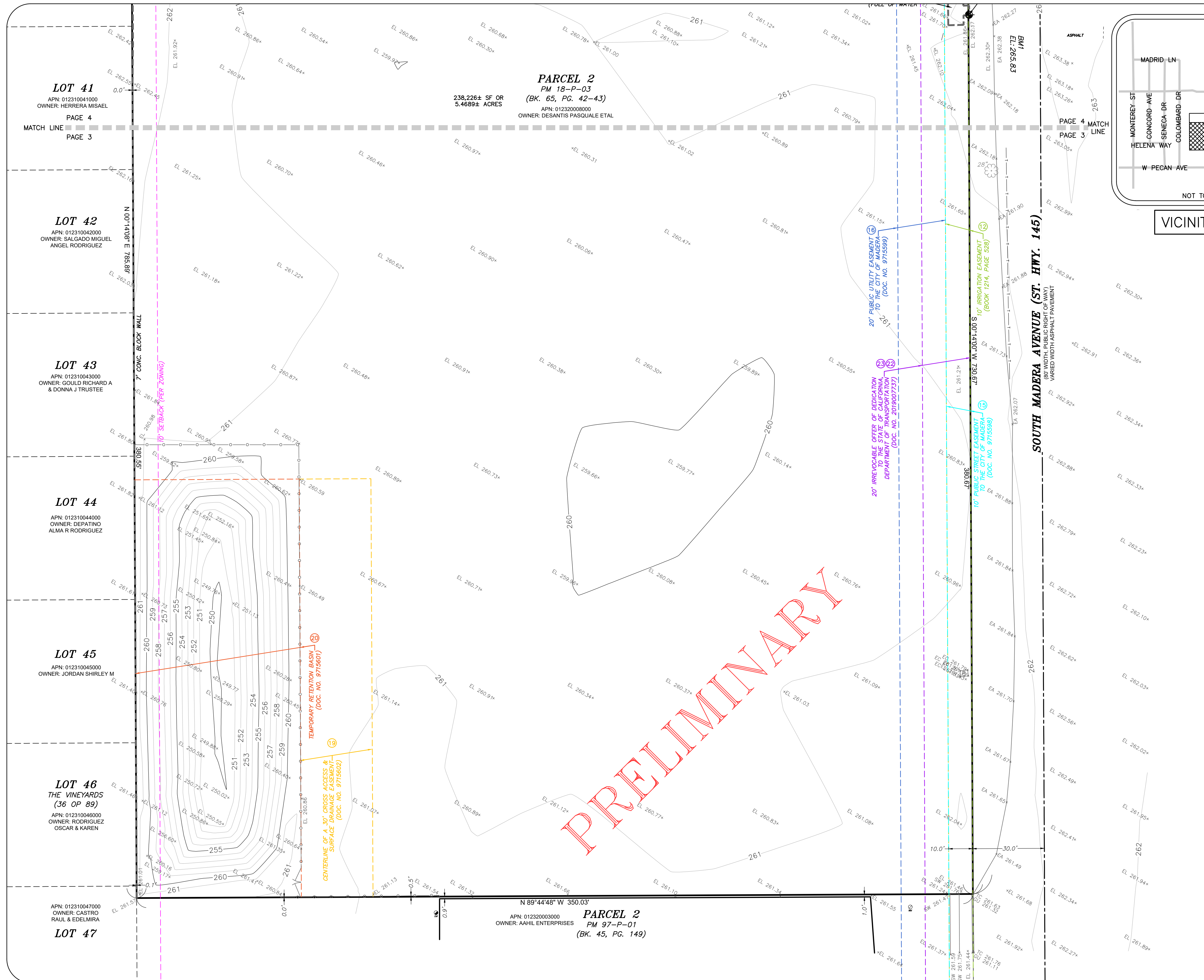
STORE #: 1132  
PAGE 2 OF 5

**PARCEL 1**  
PM 18-P-03  
(BK. 65, PG. 42-43)  
APN: 012320007000  
OWNER: 1857 EAST MAIN STREET LLC

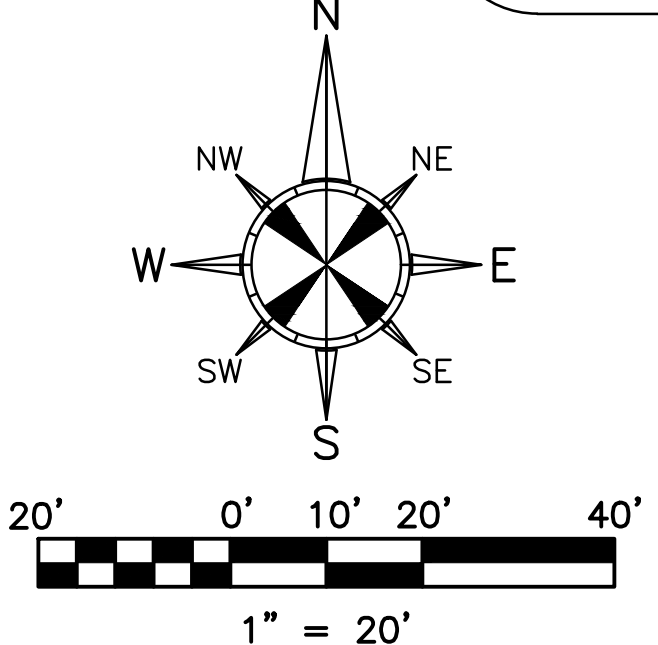
**PARCEL 2**  
PM 18-P-03  
(BK. 65, PG. 42-43)  
APN: 012320008000  
OWNER: DESANTIS PASQUALE ETAL  
2.38,226± SF OR  
5.4689± ACRES

**PARCEL 2**  
PM 97-P-01  
(BK. 45, PG. 149)

APN: 012311028000 OWNER: BAUTISTA CRISPIN O & MARIA <b>LOT 78</b>	APN: 012311029000 OWNER: POWER DAWN Z TR <b>LOT 79</b>	APN: 012311030000 OWNER: N/A <b>LOT 80</b> THE VINEYARDS 2 (40 OP 116)	APN: 012310038000 OWNER: ARMSTRONG MELVIN J & ELIZABETH M TR ETAL <b>LOT 38</b> THE VINEYARDS (36 OP 89)	APN: 012310039000 OWNER: GERMAN MANUEL L ETAL <b>LOT 39</b>	APN: 012310040000 OWNER: ARMIENTO ANGEL PEDRO <b>LOT 40</b>	APN: 012310041000 OWNER: HERRERA MISAE L <b>LOT 41</b>	APN: 012310042000 OWNER: SALGADO MIGUEL ANGEL RODRIGUEZ <b>LOT 42</b>	APN: 012310043000 OWNER: GOULD RICHARD A & DONNA J TRUSTEE <b>LOT 43</b>	APN: 012310044000 OWNER: DEPATINO ALMA R RODRIGUEZ <b>LOT 44</b>	APN: 012310045000 OWNER: JORDAN SHIRLEY M <b>LOT 45</b>	APN: 012310046000 OWNER: RODRIGUEZ OSCAR & KAREN <b>LOT 46</b> THE VINEYARDS (36 OP 89)	APN: 012310047000 OWNER: HERRERA MISAE L <b>LOT 47</b>
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LIST OF ABBREVIATIONS	
AV - AIR VALVE	B/L - BUILDING LINE
AV - AUTO-SPRINKLER	BC - BRASS CAP
BH - BORE HOLE	BLD. - BUILDING
C - CLEAN OUT	BLVD. - BOULEVARD
ELEC. METER	BRNG. - BEARING
ELEC. PED.	C/L - CENTER LINE
ELEC. TRANS.	CONG. - CONCRETE
FIRE HYDRANT	CP - COTTON SPINDLE
FIRE RISER	C/S - CENTER LINE
FLAG POLE	CSG. - CONCRETE
GAS METER	CS - COTTON SPINDLE
GAS VALVE	CSM. - EASEMENT
GATE	CSM. - EASEMENT
GENERATOR	CSM. - EASEMENT
MANHOLE OF UNKNOWN TYPE	CSM. - EASEMENT
BARBED WIRE FENCE	CSM. - EASEMENT
STOCKADE FENCE	CSM. - EASEMENT
SUBJECT BOUNDARY LINE	CSM. - EASEMENT
OVERHEAD ELECTRIC LINE	CSM. - EASEMENT
UNDERGROUND ELECTRIC	CSM. - EASEMENT
UNDERGROUND STORM SEWER	CSM. - EASEMENT
OVERHEAD COMMUNICATIONS	CSM. - EASEMENT
UNDERGROUND SANITARY SEWER	CSM. - EASEMENT
GROUND LIGHT	CSM. - EASEMENT
GROUND ROD	CSM. - EASEMENT
GUARD POST	CSM. - EASEMENT
HANDICAPPED TANK ACCESS	CSM. - EASEMENT
IRON ANCHOR	CSM. - EASEMENT
IRON GRATE	CSM. - EASEMENT
MAIL BOX	CSM. - EASEMENT
METER RACK	CSM. - EASEMENT
MON. FOUND. TU	CSM. - EASEMENT
MON. SET AS DESCRIBED	CSM. - EASEMENT
PIPELINE MARKER	CSM. - EASEMENT
POWER MH	CSM. - EASEMENT
PROPANE TANK	CSM. - EASEMENT
PULL BOX	CSM. - EASEMENT
PARKING METER	CSM. - EASEMENT
CHAINLINK FENCE	CSM. - EASEMENT
STOCKADE FENCE	CSM. - EASEMENT
SUBJECT BOUNDARY LINE	CSM. - EASEMENT
OVERHEAD ELECTRIC LINE	CSM. - EASEMENT
UNDERGROUND ELECTRIC	CSM. - EASEMENT
UNDERGROUND STORM SEWER	CSM. - EASEMENT
OVERHEAD COMMUNICATIONS	CSM. - EASEMENT
UNDERGROUND SANITARY SEWER	CSM. - EASEMENT
RCP HEADWALL	CSM. - EASEMENT
ROAD SIGN	CSM. - EASEMENT
SEWER MH	CSM. - EASEMENT
STORM SEWER	CSM. - EASEMENT
TELE. MH	CSM. - EASEMENT
TELE. PED.	CSM. - EASEMENT
TRAFFIC SIGNAL	CSM. - EASEMENT
TRAFFIC CONTROL BOX	CSM. - EASEMENT
TREE	CSM. - EASEMENT
UNDR. TELE. MARKER	CSM. - EASEMENT
T.V. PED.	CSM. - EASEMENT
UTILITY CABINET	CSM. - EASEMENT
UTILITY POLE	CSM. - EASEMENT
WATER METER	CSM. - EASEMENT
WATER MH	CSM. - EASEMENT
WATER VALVE	CSM. - EASEMENT
ADJ./PLAT LINE	CSM. - EASEMENT
EASEMENT LINE	CSM. - EASEMENT
SECTION LINE	CSM. - EASEMENT
TRAIN TRACKS	CSM. - EASEMENT
ROOF DRAIN	CSM. - EASEMENT
STAT. - STATUTORY	CSM. - EASEMENT
TOP OF RM	CSM. - EASEMENT
TYP. - TYPICAL	CSM. - EASEMENT
U/G - UTILITY CABINET	CSM. - EASEMENT
U/G - UNDERGROUND	CSM. - EASEMENT
U/GS - WITH UNDERGROUND SERVICE	CSM. - EASEMENT

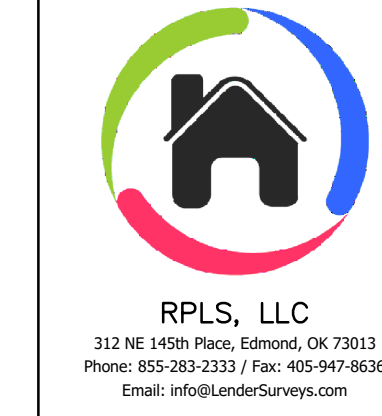


**ALTA/NSPS LAND TITLE SURVEY**  
FOR  
**AUTOZONE**  
STORE NUMBER: 1132  
PROPERTY ADDRESS:  
NEAR CORNER OF SOUTH MADERA AVENUE AND WEST GARY LANE,  
MADERA, CA. 93637  
ALTA SURVEY BASED AND RELIED ON  
FIRST AMERICAN TITLE INSURANCE COMPANY  
TITLE COMMITMENT, NUMBER NCS-1162783-MICH,  
CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023  
**CERTIFICATION**  
TO: FIRST AMERICAN TITLE INSURANCE COMPANY; JOHN W. AND NATALIA V. NIPP; PASQUALE AND CARMELA DESANTIS; AND AUTOZONE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

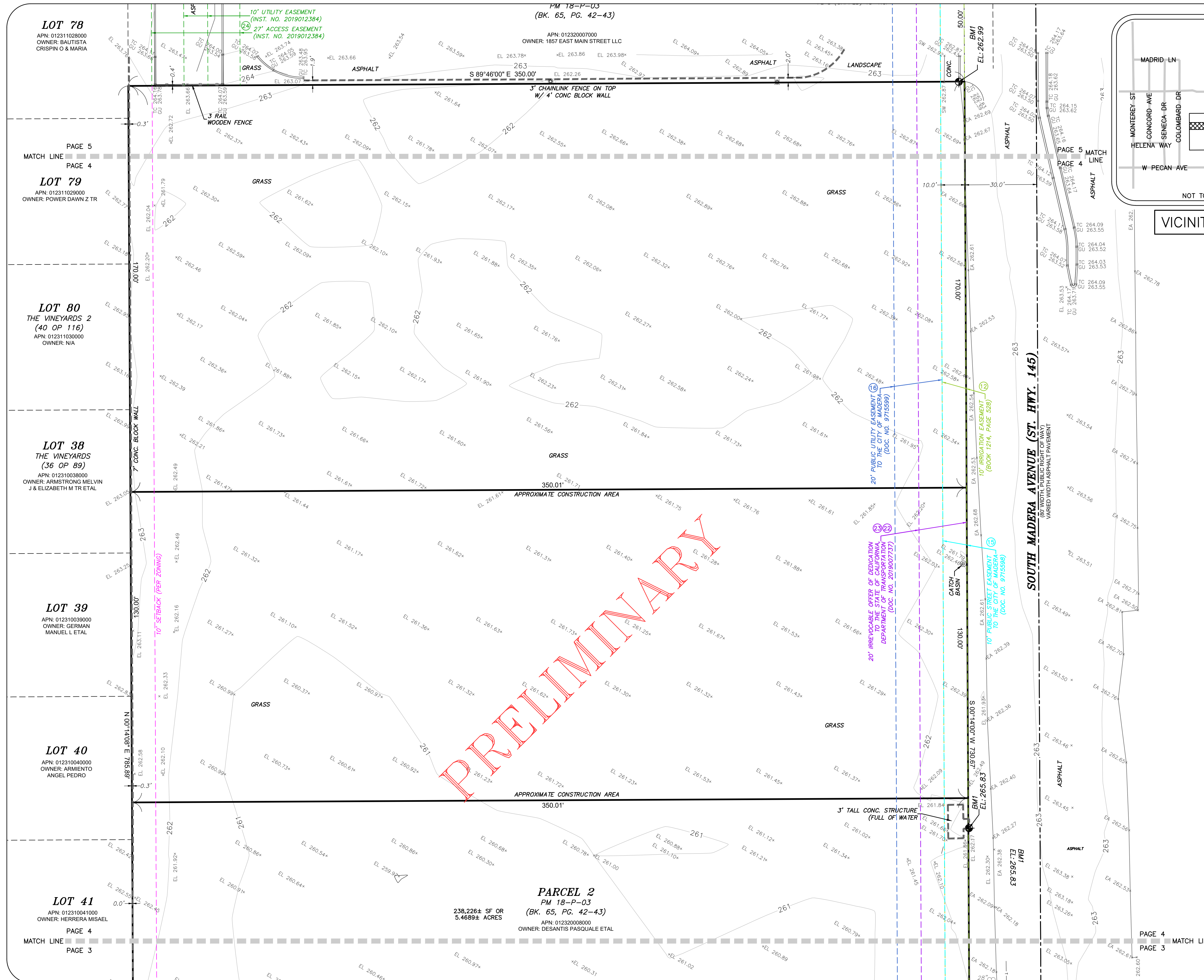
THE FIELDWORK WAS COMPLETED ON: 02/15/2023.  
DATE OF PLAT OR MAP: (TO BE DATED UPON SIGNATURE)  
SURVEYOR: SCOTT E. OHANA  
P.L.S. NO.: 7526  
STATE OF REGISTRATION: CALIFORNIA

\_\_\_\_\_  
SIGNATURE

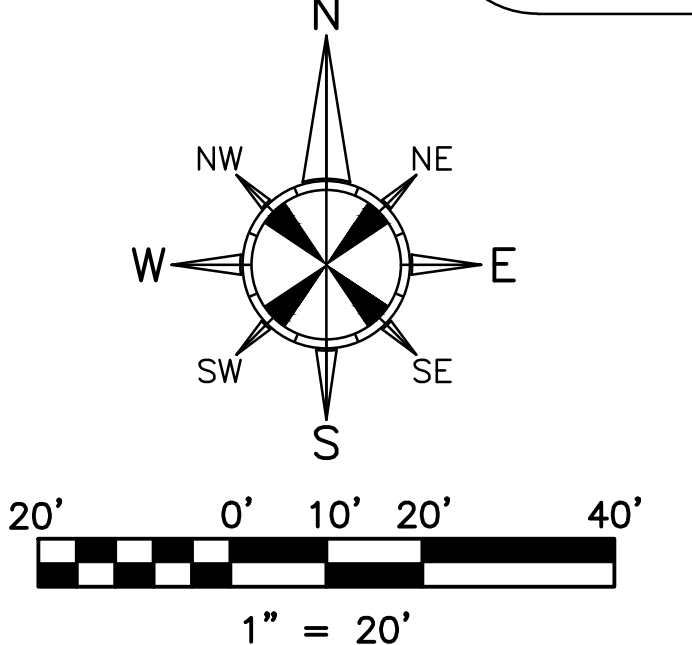


**AutoZone**  
PRELIMINARY DRAWING DATE: 09/18/2023  
DWN BY: CM  
JOB NO: 30927AD  
STORE #: 1132  
PAGE 3 OF 5





LIST OF ABBREVIATIONS	
⊗ A.C. PAD	⊗ GROUND LIGHT
⊗ AIR VALVE	⊗ GUARD POST
⊗ AUTO-SPRINKLER	⊗ SANITARY SEWER MH
⊗ BENCHMARK	⊗ STORM SEWER MH
⊗ BORE HOLE	⊗ TANK ACCESS
⊗ BUSH	⊗ TELE. MH
⊗ CLEAN OUT	⊗ TELE. POLE
⊗ ELEC. METER	⊗ MAIL BOX
⊗ ELEC. PED.	⊗ METER RACK
⊗ ELEC. TRANS.	⊗ MONITOR WELL
⊗ FIRE HYDRANT	⊗ MON. FOUND. TUB
⊗ FIRE RISER	⊗ MON. SET
⊗ FLAG POLE	⊗ PIPELINE MARKER
⊗ GAS METER	⊗ POWER MH
⊗ GAS VALVE	⊗ PROPANE TANK
⊗ GATE	⊗ PULL BOX
⊗ GENERATOR	⊗ METER
⊗ MANHOLE OF UNKNOWN TYPE	⊗ UNKNOWN TYPE
⊗ BARBED WIRE FENCE	⊗ CHAINLINK FENCE
⊗ FENCE	⊗ STOCKADE FENCE
⊗ ROAD CENTERLINE	⊗ SUBJECT BOUNDARY LINE
⊗ OVERHEAD ELECTRIC LINE	⊗ UNDERGROUND ELECTRIC
⊗ UNDERGROUND COMMUNICATIONS	⊗ UNDERGROUND STORM SEWER
⊗ OVERHEAD COMMUNICATIONS	⊗ UNDERGROUND SANITARY SEWER
⊗ RCP HEADWALL	⊗ ROAD SIGN
⊗ SANITARY SEWER	⊗ STORM SEWER
⊗ TANK ACCESS	⊗ TELE. MH
⊗ TELE. POLE	⊗ TELE. PED.
⊗ TRAFFIC SIGNAL LIGHT	⊗ TRAFFIC CONTROL BOX
⊗ TREE	⊗ UNDR. TELE. MARKER
⊗ T.V. PED.	⊗ UTILITY CABINET
⊗ UTILITY POLE	⊗ WATER METER
⊗ WATER MH	⊗ WATER VALVE
⊗ WATER VALVE	⊗ ADJ./PLAT LINE
⊗ OIL PIPE LINE	⊗ SAN. PIPE LINE
⊗ UNDER. GAS	⊗ UNDER. WATER
⊗ UNDER. WATER	⊗ WALL



**ALTA/NSPS LAND TITLE SURVEY**  
 FOR  
**AUTOZONE**  
 STORE NUMBER: 1132  
 PROPERTY ADDRESS:  
 NEAR CORNER OF SOUTH MADERA AVENUE AND WEST GARY LANE,  
 MADERA, CA. 93637  
 ALTA SURVEY BASED AND RELIED ON  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 TITLE COMMITMENT, NUMBER NCS-1162783-MICH,  
 CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023  
**CERTIFICATION**  
 TO: FIRST AMERICAN TITLE INSURANCE COMPANY; JOHN W. AND NATALIA V. NIPP; PASQUALE AND CARMELA DESANTIS; AND AUTOZONE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON: 02/15/2023.  
 DATE OF PLAT OR MAP: (TO BE DATED UPON SIGNATURE)  
 SURVEYOR: SCOTT E. OHANA  
 P.L.S. NO.: 7526  
 STATE OF REGISTRATION: CALIFORNIA



RPLS, LLC  
 312 NE 45th Place, Edmond, OK 73013  
 Phone: 855-282-3333 | Fax: 405-947-9636  
 Email: info@lendersurveys.com

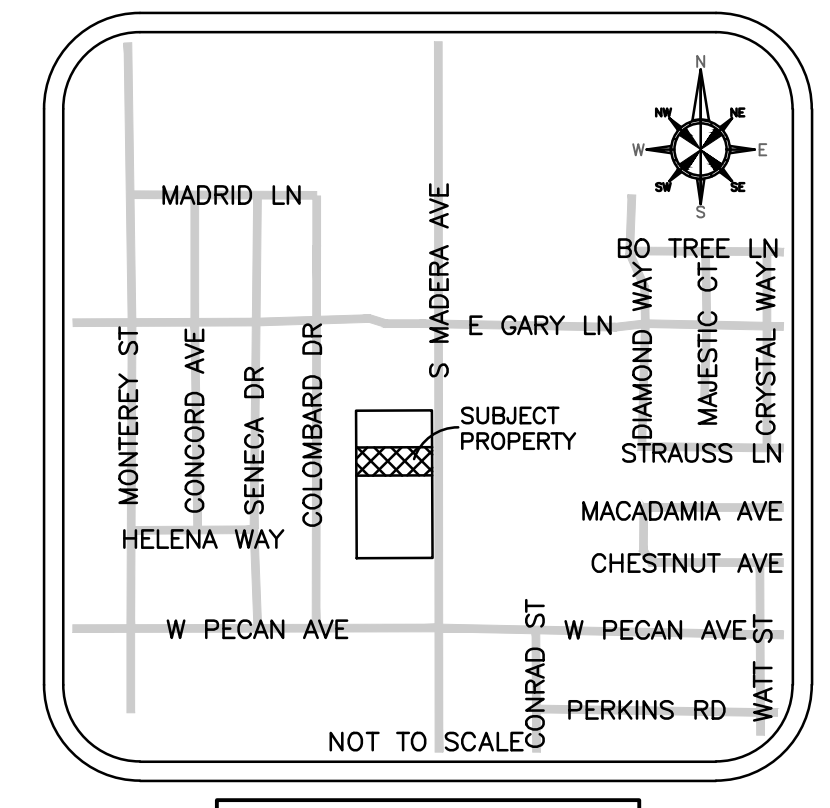
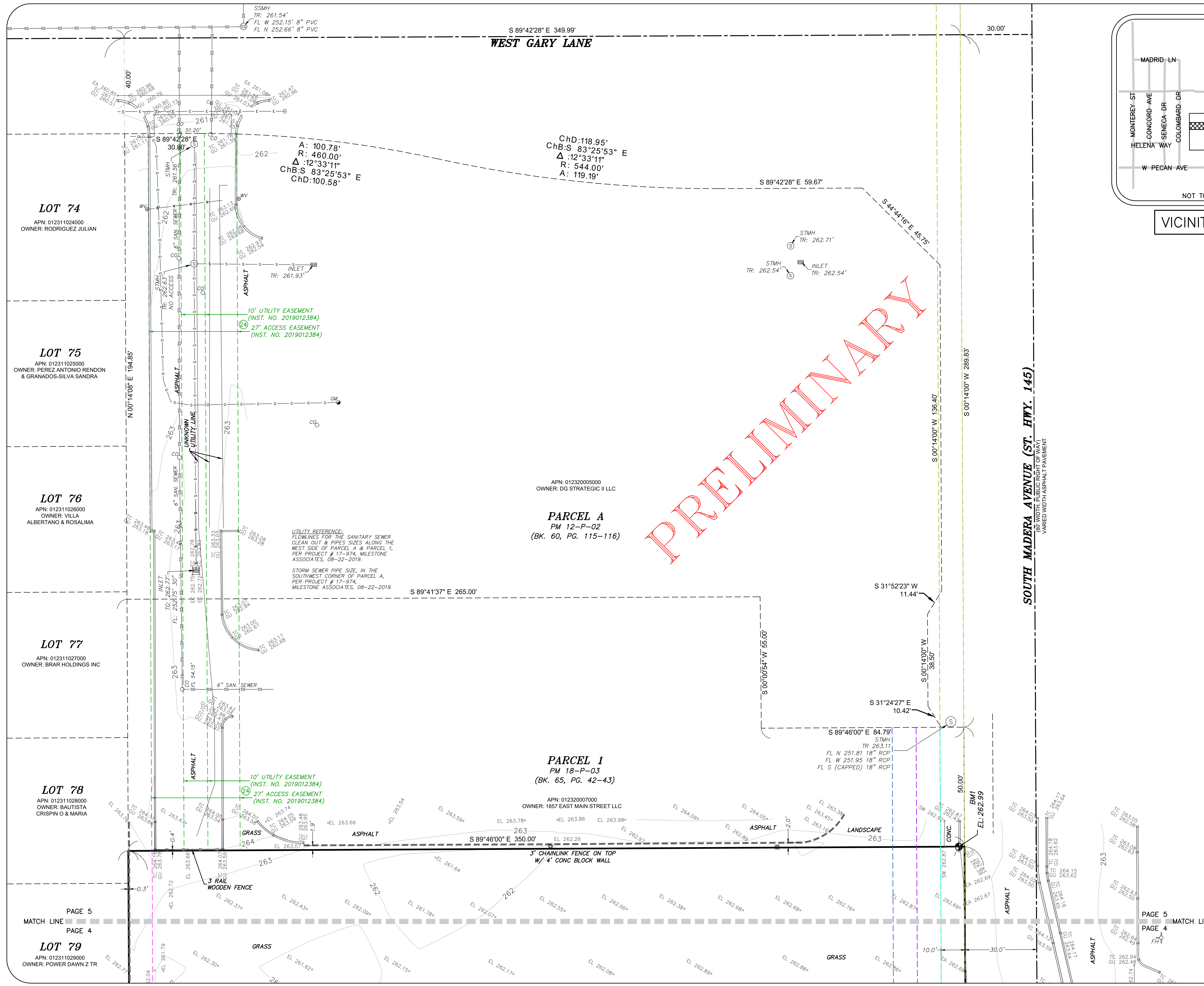
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 SIGNATURE



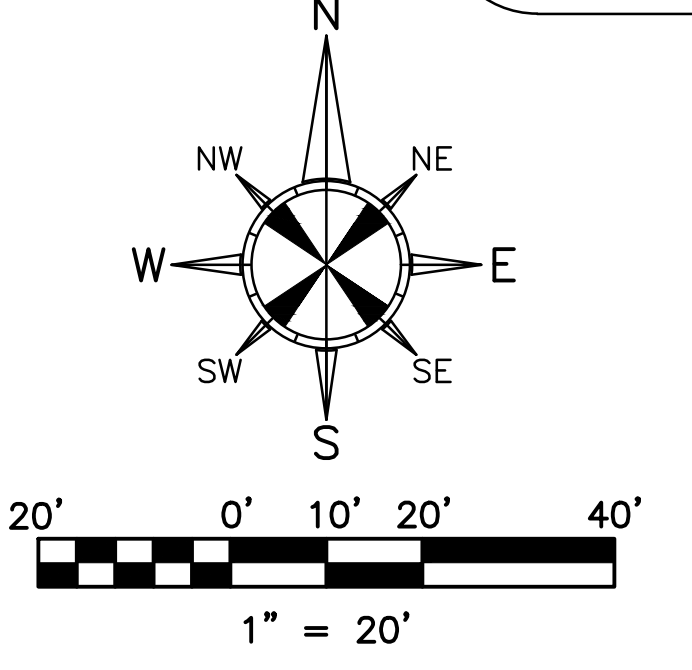
PRELIMINARY DRAWING DATE: 09/18/2023  
 DWN BY: CM  
 JOB NO: 30927AD  
 STORE #: 1132  
 PAGE 4 OF 5

PRELIMINARY

PRELIMINARY



LIST OF ABBREVIATIONS table with symbols and descriptions for various survey features like A.C. PAD, AIR VALVE, AUTO-SPRINKLER, BENCHMARK, BORE HOLE, BUSH, CLEAN OUT, ELEC. METER, ELEC. PED., ELEC. TRANS., FIRE HYDRANT, FIRE RISER, FLAG POLE, GAS METER, GAS VALVE, GATE, GENERATOR, MANHOLE OF UNKNOWN TYPE, BARBED WIRE FENCE, STOCKADE FENCE, ROAD CENTERLINE, SUBJECT BOUNDARY LINE, OVERHEAD ELECTRIC LINE, UNDERGROUND ELECTRIC, UNDERGROUND COMMUNICATIONS, OVERHEAD COMMUNICATIONS, GROUND LIGHT, GUARD POST, HANDICAPPED PARKING, IRON ANCHOR, LIGHT POLE, MAIL BOX, METER RACK, MONITOR WELL, MON. FOUND. TU, MON. SET AS DESCRIBED, PIPELINE MARKER, POWER MH, PROPANE TANK, PULL BOX, UNKNOWN TYPE METER, CHAINLINK FENCE, STOCKADE FENCE, SUBJECT BOUNDARY LINE, UNDERGROUND ELECTRIC, UNDERGROUND COMMUNICATIONS, RCP HEADWALL, SANITARY SEWER MH, STORM SEWER MH, TANK ACCESS, TELE. MH, TELE. PED., TRAFFIC SIGNAL, TRAFFIC CONTROL BOX, TREE, UNDR. TELE. MARKER, UTILITY CABINET, UTILITY POLE, WATER METER, WATER MH, WATER VALVE, ADJ./PLAT LINE, EASEMENT LINE, SECTION LINE, TRAIN TRACKS, R.O.W. - RIGHT-OF-WAY, RD - ROAD, RET. - RETAINING, SAN. - SANITARY, STAT. - STATUTORY, TOP OF RM, TYP. - TYPICAL, U/G - UNDERGROUND, U/GS - WITH UNDERGROUND SERVICE.



ALTA/NSPS LAND TITLE SURVEY FOR AUTOZONE STORE NUMBER: 1132 PROPERTY ADDRESS: NEAR CORNER OF SOUTH MADERA AVENUE AND WEST GARY LANE, MADERA, CA. 93637 ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT, NUMBER NCS-1162783-MICH, CONTAINING AN EFFECTIVE DATE OF JANUARY 12, 2023

CERTIFICATION TO: FIRST AMERICAN TITLE INSURANCE COMPANY; JOHN W. AND NATALIA V. NIPP; PASQUALE AND CARMELA DESANTIS; AND AUTOZONE THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7b1, 7c, 8, 9, 10, 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON: 02/15/2023. DATE OF PLAT OR MAP: (TO BE DATED UPON SIGNATURE) SURVEYOR: SCOTT E. OHANA P.L.S. NO.: 7526 STATE OF REGISTRATION: CALIFORNIA RPLS, LLC 312 NE 45th Place, Edmond, OK 73013 Phone: 855-282-3333 / Fax: 405-949-9636 Email: info@LendersSurveys.com

Signature line with the AutoZone logo and text: PRELIMINARY DRAWING DATE: 09/18/2023 STORE #: 1132 DWN BY: CM JOB NO: 30927AD PAGE 5 OF 5

# ATTACHMENT 6

California Department of Transportation (Caltrans)  
Letter of Requirements

## California Department of Transportation

DISTRICT 6 OFFICE  
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616  
(559) 981-7284 | FAX (559) 488-4195 | TTY 711  
[www.dot.ca.gov](http://www.dot.ca.gov)



June 14, 2024

MAD-145-8.157

Tentative Parcel Map 2024-02, Site Plan Review 2024-16  
GTS #: <https://ld-igr-gts.dot.ca.gov/district/6/report/32900>

### **SENT VIA EMAIL**

Mx. Adileni Rueda, Assistant Planner  
City of Madera  
205 W. 4th Street  
Madera, CA 93637  
[arueda@madera.gov](mailto:arueda@madera.gov)

Dear Mx. Rueda:

Caltrans has completed the review of Tentative Parcel Map 2024-02 and Site Plan Review (SPR) 2024-16, dividing approximately 5.4-acre site into three parcels. The site plan review proposes to develop an approximately 7,380 square foot commercial building on one of the three proposed parcels.

The project site is located on the west side of State Route (SR) 145/Madera Avenue between W. Gary Lane and Pecan Ave/Avenue 13.

The mission of Caltrans is to provide a safe and reliable transportation network that serves all people and respects the environment. The Local Development Review (LDR) process reviews land use projects and plans through the lenses of our mission and state planning priorities of infill, conservation, and travel-efficient development. To ensure a safe and efficient transportation system, we encourage early consultation and coordination with local jurisdictions and project proponents on all development projects that utilize the multimodal transportation network.

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

1. Caltrans requests that the newly installed median be extended longer in the southern direction, approximately 100-foot past the new driveway access.
2. The pavement taper, southbound, south of the driveway should be extended longer. Please refer to the California Manual on Uniform Traffic Control Devices

(MUTCD) for guidance.

3. The new driveway access shall be designed per Caltrans standard. Please refer to the latest Caltrans Standard Plans for guidance.
4. The previous Caltrans comment letter dated September 12, 2023, for this project requested that a short right turn lane be installed at the new driveway access. Also, a bike lane should be provided between the through lane and the right-turn lane.
5. A new curb and a 10-foot sidewalk shall be installed with the development. The new sidewalk and curb shall connect with the existing sidewalk and curb at Burger King restaurant.
6. The segment of SR 145 included in the project is currently functioning as a three-lane arterial highway and would be upgraded to a major four lane arterial highway in the future. It may possibly be upgraded to a four-lane divided highway. To achieve this ultimate configuration, Caltrans Transportation Concept Report (TCR) suggested a minimum of 103 feet right of way be needed.

The site plan did not provide the distance from centerline to the new right-of-way line. It is estimated that approximately 52 feet is needed to achieve the four-lane configuration, if existing centerline is in the center of the highway. As a minimum, the new right-of-way (including sidewalk and curbs) shall be aligned with the property in the north (Burger King Restaurant and DG Market).

7. An encroachment permit from the Caltrans District 6 Permits Office will be required for any work done within State right-of-way. All work shall be constructed in accordance with the Caltrans Highway Design Manual and Caltrans Standard Plans.

Any landscaping within the right-of-way should be reviewed by the District Landscape Architect. An engineering drawing must be prepared and signed by a licensed engineer and be submitted with the application for encroachment permit. Private commercial signage shall be placed outside of the state right-of-way and shall not block driver's sight distance.

8. Alternative transportation policies should be applied to the development. An assessment of multi-modal facilities should be conducted to develop an integrated multi-modal transportation system to serve and help alleviate traffic congestion caused by the project and related development in this area of the city. The assessment should include the following:
  - a. Pedestrian walkways should link this Project to transit facilities, bicycle pathways and other walkways in the surrounding area.

- b. Coordinating connections to local and regional bicycle pathways should be done to encourage further the use of bicycles for commuter and recreational purposes.
  - c. Transit service and bus stop accommodations should be extended to within 1/4-mile of the Project site.
9. Caltrans **recommends** that the Project implement “smart growth” principles regarding parking solutions, providing alternative transportation choices to residents and employees. Alternative transportation choices may include but are not limited to parking for carpools/vanpools, car-share and/or ride-share programs.
10. Based on Caltrans Vehicle Miles Traveled (VMT)-Focused Transportation Impact Study Guide, dated May 20, 2020, and effective as of July 1, 2020, Caltrans seeks to reduce single occupancy vehicle trips, provide a safe transportation system, reduce per capita VMT, increase accessibility to destinations via cycling, walking, carpooling, transit and reduce greenhouse gas (GHG) emissions. Caltrans recommends that the project proponent continue to work with the city to implement further improvements to reduce VMT and offer a variety of transportation modes for its employees.
11. The City should consider requiring the Project to provide charging stations for electric vehicles and for freight trucking as part of the statewide efforts to reduce greenhouse gas emissions, reduce freight parking shortages and maintain the Federal Hours of Service regulations.
12. Due to severe truck parking shortages throughout the state and strict Federal Hours of Service regulations that limit the amount of time a truck driver can spend driving per day, many truck drivers cannot find safe and reliable truck parking spaces, and therefore park in unauthorized and/or unsafe areas. Constructing adequate truck parking on-site can alleviate the unauthorized/unsafe truck parking demand on existing facilities. On-site parking for freight trucks will also strive to ensure a secure and reliable area for extended or overnight parking to help maintain adherence to the Federal Hours of Service regulations. On-site parking for freight trucks is adequate when on-site facilities include, at a minimum: restrooms, lighting, trash facilities, drinking water, showers, and food sellers (such as, but not limited to a food court, restaurant, food truck) or vending machines.
13. The city should consider requiring the Project to implement on-site parking for freight trucks within the Project boundaries, that truck drivers can utilize for extending parking periods before loading or after unloading.
14. The city should consider promoting the leveraging of strategic investments to maintain and modernize a multimodal freight transportation system with

innovative approaches, including advanced technology to optimize integrated network efficiency, improve travel time reliability, and achieve sustainable congestion reduction.

If you have any other questions, please call or email: Keyomi Jones, Transportation Planner at (559) 981-7284 or [keyomi.jones@dot.ca.gov](mailto:keyomi.jones@dot.ca.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "Dave Padilla", with a long horizontal flourish extending to the right.

Mr. Dave Padilla, Branch Chief,  
Transportation Planning – North

## California Department of Transportation

DISTRICT 6 OFFICE  
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616  
(559) 981-7284 | FAX (559) 488-4195 | TTY 711  
[www.dot.ca.gov](http://www.dot.ca.gov)



September 17, 2024

MAD-145-8.225

Autozone

Tentative Parcel Map (TPM) 2024-02 and Site Plan Review (SPR) 2024-18

GTS #: <https://ld-igr-gts.dot.ca.gov/district/6/report/30612>

### **SENT VIA EMAIL**

Mx. Adileni Rueda, Assistant Planner  
City of Madera Planning Department  
205 W. 4th Street  
Madera, CA 93637  
[arueda@madera.gov](mailto:arueda@madera.gov)

Dear Mx. Rueda:

Caltrans has completed a review of the second submittal of Tentative Parcel Map (TPM) 2024-02 and SPR 2024-18 project proposing new construction of a 7,380 square foot. Autozone retail store building and parking 34 space lot located on the west side of State Route 145 (Madera Ave) between W Gary Lane and W. Pecan Avenue in the City of Madera.

The mission of Caltrans is to provide a safe and reliable transportation network that serves all people and respects the environment. The Local Development Review (LDR) process reviews land use projects and plans through the lenses of our mission and state planning priorities of infill, conservation, and travel-efficient development. To ensure a safe and efficient transportation system, we encourage early consultation and coordination with local jurisdictions and project proponents on all development projects that utilize the multimodal transportation network.

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

1. The site plan (sheet C1) appears to indicate 30 feet distance, from the edge of the existing southbound (SB) median left turn channelization to the new curb and sidewalk on the development side.

Per our meeting on August 13, 2024, Caltrans requested this width be extended to 34 feet (to fit a left shoulder, two SB through lanes and a right shoulder) to



accommodate future four-lane in this area. For this we requested the new curb and sidewalk be constructed at 34 feet from the existing southbound edge-line of the left turn lane in the median.

2. The site plan (sheet C1) proposes the new traffic diverters in the median, one is to modify the existing southbound (SB) left turn channelization and the other is the new northbound (NB) left turn pocket onto the development. The length of both left turn channelization appears short. We request that the length of both left turn channelization be extended as long as possible, especially for the NB left turn pocket. As a minimum, the length of the NBLT pocket should be extended to the end of the property (or parcel 3). This is to minimize the left turn queue spill out to the mainline through lane during peak hours. Please note that Caltrans Highway Design Manual (HDM) Index 405.2 specifies the requirement length for turn lanes. Please refer to the HDM for guidance.
3. The new driveway access shall be designed per Caltrans standard. Please refer to the latest Caltrans Standard Plans for guidance.
4. The new curb and sidewalk shall be installed with the development. The new sidewalk and curb shall connect with the existing sidewalk and curb on the northside.
5. Caltrans recommends that streetlights be installed along the frontage property for safety and security of the public as well as for business patrons.
6. An encroachment permit from the Caltrans District 6 Permits Office will be required for any work done within the State right-of-way. All works shall be constructed in accordance with the Caltrans Highway Design Manual and Caltrans Standard Plans. Any landscaping within the right-of-way should be reviewed by the District Landscape Architect. An engineering drawing must be prepared and signed by a licensed engineer and be submitted with the application for the encroachment permit.
7. Private commercial signage shall be placed outside of the state right-of-way and shall not block driver's sight distance.

If you have any other questions, please call or email: Keyomi Jones, Transportation Planner at (559) 981-7284 or [keyomi.jones@dot.ca.gov](mailto:keyomi.jones@dot.ca.gov).

Sincerely,



Mr. Dave Padilla, Branch Chief,  
Transportation Planning – North